



PRELIMINARY PLANS NOT APPROVED. NOT FOR CONSTRUCTION.

SILVERCORE
LAND DEVELOPMENT CONSULTANTS
7110 FOREST AVENUE - SUITE 204 - RICHMOND, VA 23226 (804) 282-6900

WEST END ACADEMY OF DANCE
LAYOUT PLAN
HENRICO COUNTY, VIRGINIA
TUCKAHOE DISTRICT

REV.	DATE	DESCRIPTION

DESIGN BY: Mark Tuttle
CHECKED BY: Jeff Staub
DRAWING SCALE: 1" = 20'
DATE: 5/8/20

SHEET
4

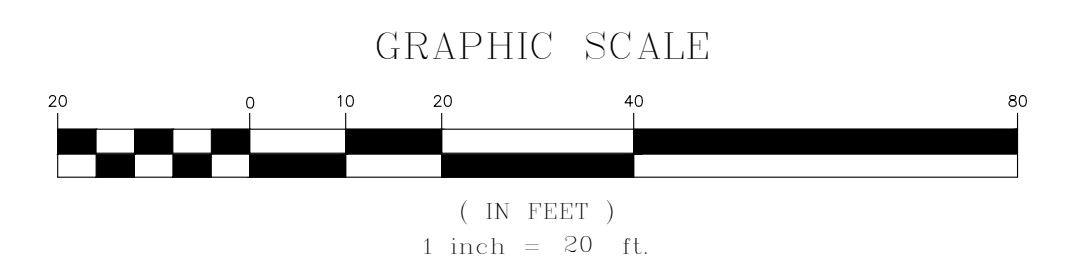
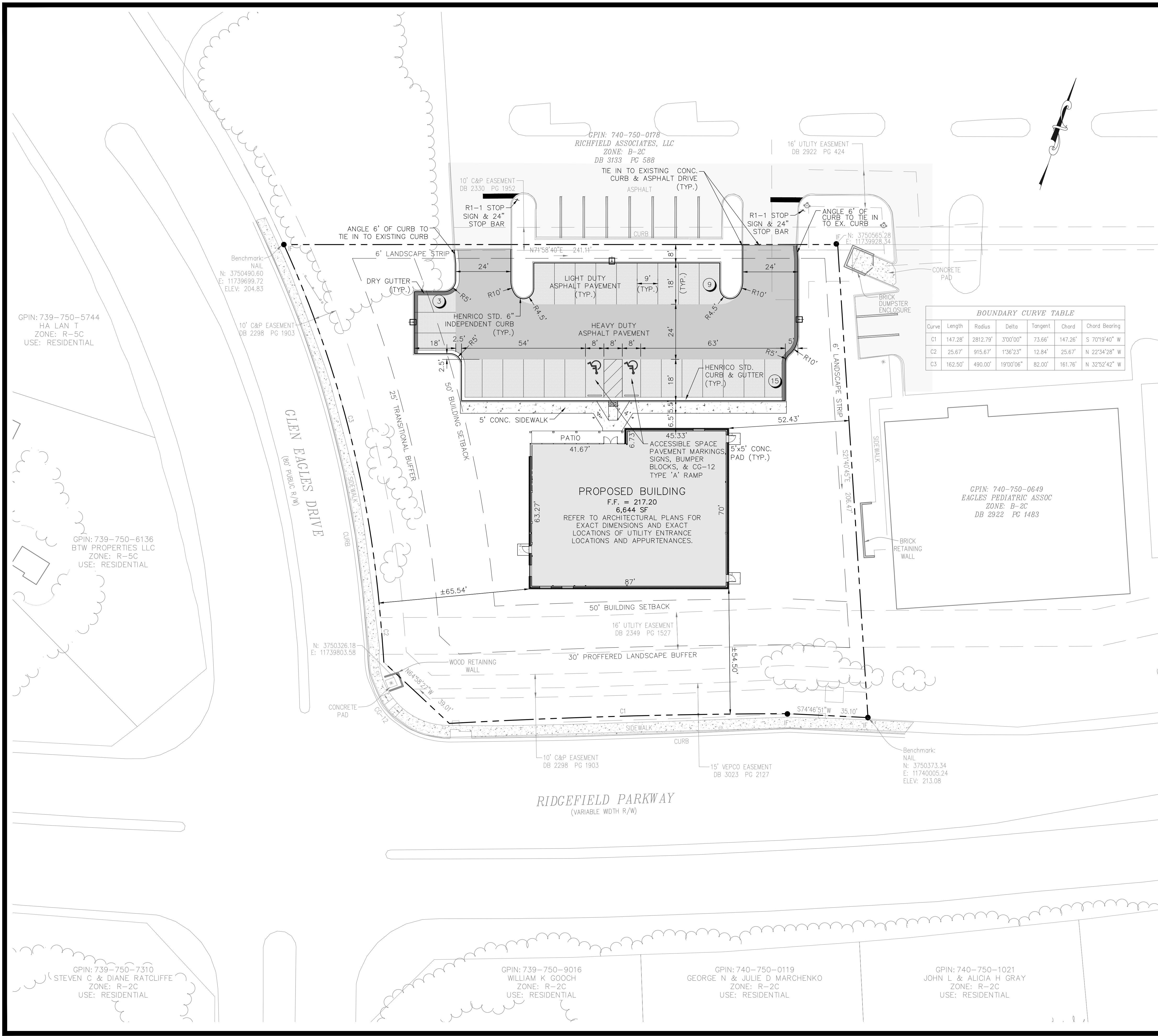
JOB #: 190357

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB.
- NORTH WALL OF BUILDING TO BE PARALLEL TO NORTHERN PROPERTY LINE. CURBING TO BE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE, EXCEPT WHERE NOTED.
- ACCESSIBLE SPACE ACCESS AISLES TO HAVE 4" TRAFFIC WHITE PAINT, AT 45° - 3" O.C.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS, AND COUNTY SPECIFICATIONS AND STANDARDS.
- INCIDENTAL CONCRETE MUST BE CLASS A3 IN ACCORDANCE WITH VDOT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 811 PRIOR TO ANY CONSTRUCTION WORK.
- WHEN IT APPEARS THAT THE PROPOSED WORK MAY HAVE SOME IMPACT TO ADJACENT PRIVATE OR COMMERCIAL PROPERTIES, THE APPLICANT MUST INFORM THE PROPERTY OWNERS OF THE PROPOSED WORK AND KEEP THEM APPRISED OF TIME SCHEDULES, DELAYS, IMPACTS, CHANGES IN PEDESTRIAN AND VEHICLE ACCESS OR TRAFFIC PATTERNS, AND FINAL RESTORATION PLANS.
- FOUR (4) INCHES (MIN.) OF #57 STONE MUST BE PLACED UNDER ALL CURB AND GUTTER AND MUST EXTEND ONE FOOT BEYOND THE BACK OF THE CURB.

BOUNDARY CURVE TABLE

Curve	Length	Radius	Delta	Tangent	Chord	Chord Bearing
C1	147.28'	2812.79'	3°00'00"	73.66'	147.26'	S 70°19'40" W
C2	25.67'	915.67'	1°36'23"	12.84'	25.67'	N 22°34'28" W
C3	162.50'	490.00'	19°00'06"	82.00'	161.76'	N 32°52'42" W



GPIN: 739-750-5744
HA LAN T
ZONE: R-5C
USE: RESIDENTIAL

GPIN: 739-750-6136
BTW PROPERTIES LLC
ZONE: R-5C
USE: RESIDENTIAL

GPIN: 739-750-7310
STEVEN C & DIANE RATCLIFFE
ZONE: R-2C
USE: RESIDENTIAL

GPIN: 739-750-9016
WILLIAM K GOOCH
ZONE: R-2C
USE: RESIDENTIAL

GPIN: 740-750-0119
GEORGE N & JULIE D MARCHENKO
ZONE: R-2C
USE: RESIDENTIAL

GPIN: 740-750-1021
JOHN L & ALICIA H GRAY
ZONE: R-2C
USE: RESIDENTIAL

GPIN: 740-750-0178
RICHFIELD ASSOCIATES, LLC
ZONE: B-2C
DB 3133 PG 588

16' UTILITY EASEMENT
DB 2922 PG 424

Benchmark:
NAIL
N: 3750490.60
E: 11739699.72
ELEV: 204.83

10' C&P EASEMENT
DB 2298 PG 1903

N: 3750326.18
E: 11739803.58

RIDGEFIELD PARKWAY
(VARIABLE WIDTH R/W)

GPIN: 740-750-0649
EAGLES PEDIATRIC ASSOC
ZONE: B-2C
DB 2922 PG 1483

Benchmark:
NAIL
N: 3750373.34
E: 11740005.24
ELEV: 213.08