

**VOLUNTARY PROFFER STATEMENT**  
**Case #R20-0010**

Applicant: Ni Village, LLC  
515 Stone Mill Drive  
Manakin-Sabot, Virginia 23103

Current Property

Owners: Ni Village, LLC;  
River Run Owners Association, Inc. c/o Luck Real Estate Ventures;  
Barber Property Management LLC;  
Luck Stone Corporation; and  
Luck IV Family Real Estate Fund, LLC

**\*\* (Applicant and Current Property Owners, collectively, the "Applicant")\*\***

Project Name: Ni Village

The Property: Tax Map Parcels 49-15-5; 49-15-6; 49-15-7; 49-15-10; 49-15-11; 49-15-A; 49-15-B; 49-15-C; 49-16-8; 49-16-9; 49-A-70 (in part); 49-A-71; 49-A-81; 49-A-82; and 49B-1-1A (in part) in Spotsylvania County, Virginia (the "County") consisting in the aggregate of approximately 325 acres (the "Property"), all as shown on the attached GDP (as defined below), as more particularly described herein.

Current Zoning: Planned Development Commercial (PDC) and Village Commercial (VC).

Rezoning Request: Industrial 1 (I-1) District, and Mixed Use Sub-Districts Residential Mixed Use (MU-3) and Mixed Use Low (MU-4).

GDP: Generalized Development Plan, entitled "GENERALIZED DEVELOPMENT PLAN FOR NI VILLAGE, BERKELEY MAGISTERIAL DISTRICT, SPOTSYLVANIA COUNTY, VIRGINIA", prepared by Timmons Group, dated November 10, 2020, as last revised November 8, 2022 and attached hereto as Exhibit A (the "GDP").

Design Guidelines: Design Guidelines prepared by CiteDesign, entitled "NI VILLAGE DESIGN GUIDELINES" and dated November 2022 and attached hereto as Exhibit B (the "Design Guidelines").

Date: November 8, 2022

File No.: R20-0010

Applicant's Agents: Andrew M. Condlin, Esq. and Kim Lacy, Esq.  
1519 Summit Ave, Suite 102, Richmond, VA 23239, (804) 441-8440  
Email: acondlin@rothjackson.com  
Email: klacy@rothjackson.com

## **I. GENERAL OVERVIEW**

The Applicant requests the rezoning of the Property from Planned Development Commercial (PDC) and Village Commercial (VC) Districts to Industrial 1 (I-1) District (approximately 109 acres), and Mixed Use Sub-Districts MU-3 Residential Mixed Use (MU-3) (approximately 161.9 acres), and Mixed Use Low (MU-4) (approximately 54.2 acres) to enable the Applicant, or its successors or assigns, to structure a development plan for Ni Village (the “Development” or the “Project”) that includes a strong design intent to create harmony but not uniformity, maintains density, includes a focus on economic development, and creates a live, work, shop, and play community that can accommodate the projected residential growth and desired commercial development in the County, and respect and harness the natural topographic features of the Property. As used herein, the “East Campus” includes the portions of the Property located to the east of Patriot Highway to be rezoned to MU-3, and the “West Campus” includes the portions of the Property located to the west of Patriot Highway to be rezoned I-1 and MU-4, all as generally shown on the GDP attached hereto as Exhibit A.

The Applicant, on behalf of itself, its successors and assigns, makes these Proffers voluntarily in support of the rezoning application and agrees that the development of the Project will be in conformance with the Design Guidelines and GDP (as more particularly described herein and attached hereto) and the voluntary proffered conditions provided herein, and such voluntary proffered conditions are being provided pursuant to Sections 15.2-2303, et seq. of the Code of Virginia (1950) as amended, and Section 23-4.6.3 of the Zoning Ordinance of Spotsylvania County (1955) as amended (collectively, the “Proffers”). The Proffers shall be effective only upon the County’s full and final approval of this rezoning application, File No. R20-0010 Ni Village, and upon such approval the Proffers shall supersede and replace any and all prior proffered conditions now or previously affecting the Property including without limitation, those proffers and zoning conditions set forth in the Voluntary Proffer Statement applicable to Rezoning Case Number R10-0002 dated August 23, 2011 and last revised October 11, 2011, a copy of which is recorded in the County Clerk’s Office as Instrument No. 201100020890.

## **II. LAND USE AND GENERAL DEVELOPMENT PLAN**

a. Generalized Development Plan. The Property, including all community areas, uses and features shall be developed in conformance with the GDP. Notwithstanding the foregoing, all parcel lines, parcel and lot sizes, access points, building or home sizes, building locations, public road designs and locations, private driveway and road designs and locations, parking lot designs and configurations, inter-parcel connections, resource protection areas (“RPAs”), wetland areas, utility designs and locations, stormwater management facilities and designs, amenities, waste facilities, proposed street trees locations, pedestrian and bicycle pathway locations, and dimensions of open space or other undeveloped areas shown on the GDP may be reasonably adjusted for purposes of the final site plan or subdivision plans to allow full compliance with federal and state agency regulations including, but not limited to, the Virginia Department of Historic Resources (“DHR”), Virginia Department of Transportation (“VDOT”), {01463143;v3}

the Virginia Department of Environmental Quality (“DEQ”), the U.S. Army Corps of Engineers, and the County’s Zoning Ordinance, Subdivision Ordinance, and Design Standards Manual. Notwithstanding the foregoing, any material adjustments to the GDP shall be subject to the approval of the County’s Zoning Administrator, and in no event shall approved adjustments to the GDP relieve the Applicant or Owner from providing any of the Proffers.

b. Design Guidelines. The feel of the Project will be achieved with quality materials, finishes, design elements and a variety of unique architectural styles, building types, textures, and colors, but providing a commonality of quality materials, finishes and styles throughout the Project in conformance with the Design Guidelines. The Design Guidelines provide conceptual illustrations of the dwelling units, design features and building types to be located in Ni Village, which design elements, design or architectural styles may be reasonably adjusted at the construction stage of development if such materials are no longer reasonably available, manufactured or produced, all subject to an advisory review by the County’s Zoning Administrator, and to allow full compliance with federal and state agency regulations and compliance with the requirements of the County’s Zoning Ordinance and Design Standards Manual. Notwithstanding the foregoing, any material adjustments to the Design Guidelines shall be subject to the approval of the County’s Zoning Administrator, and in no event shall approved adjustments to the Design Guidelines relieve the Applicant or Owner from providing any of the Proffers.

c. Density. A variety of residential building types shall be permitted on the Property, including detached houses, attached houses, townhouses, apartments, and mixed use buildings, with the maximum density on the Property not to exceed nine hundred fifty (950) residential units in the aggregate, with no more than five hundred (500) residential units on either the West Campus or the East Campus, which would result in a pro rata reduction of the maximum number of residential units permitted on the remainder of the Property. This restriction on density shall not include any residential units located in a nursing home or assisted living facility, however, residential density shall be reduced by the equivalent of the traffic impact resulting from the addition of residential units located in a nursing home or assisted living facility.

d. Access. Direct vehicular access to and from Patriot Highway shall be provided by a minimum of two (2) entrances/exits from Patriot Highway to and from the East Campus, and by a minimum of two (2) entrances/exits from Patriot Highway to and from the West Campus. The location of each access shall be in conformance with the GDP, with final approvals by the County and VDOT.

e. Shared Access. Upon approval of the first site plan for the portion of the Property to be rezoned I-1, an area shall be reserved on such portion of the Property to be rezoned I-1 for a future pedestrian and vehicular connection from the Property to the adjoining properties to the north (having current Parcel IDs of 49-1-1D, 49-1-1E, 49-1-1B, 49-1-4, and 49-1-5 (the “Adjoining Properties”) subject to a cross access and maintenance agreement between the Property and the Adjoining Properties. In the event the Applicant and Adjoining Properties are unable, after good faith efforts, to execute a cross access and maintenance agreement within {01463143;v3}

10 years from the date of rezoning approval, the Applicant shall no longer be required to reserve a portion of the Property to be rezoned I-1 for a connection to/from Adjoining Properties.

f. Uses and Development Standards.

i. Within the areas of the West Campus to be rezoned MU-4, as shown on the GDP:

1. Apartment Buildings. Apartment buildings shall be permitted subject to the following:

a. Architectural Standards. Apartment buildings shall be developed consistent with the elevations set forth in the Design Guidelines.

b. Gated Entrance. Any primary vehicular access entrance for a project with apartment buildings shall be gated or otherwise have controlled access.

c. Recreational Amenities. Prior to the issuance of the first residential unit receiving a final certificate of occupancy, the developer shall provide a minimum 5,000 square foot clubhouse and a fitness center. Prior to the issuance of the two hundred fiftieth (250th) residential unit receiving a final certificate of occupancy, the developer shall provide a swimming pool and a minimum of three (3) of the following amenities: outdoor grilling areas, children's playground, dog park, or outdoor seating/gathering areas, (collectively, the "West Campus Amenities").

2. General Buildings. General buildings shall be permitted subject to the following:

a. Architectural Standards. General buildings shall be developed consistent with the elevations set forth in the Design Guidelines.

3. Attached Homes. Attached homes shall be permitted subject to the following:

a. Architectural Standards. Attached homes shall be developed consistent with the elevations set forth in the Design Guidelines.

4. Townhouse Buildings. Townhouse buildings shall be permitted subject to the following:
  - a. Architectural Standards. Townhouse buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
5. Mixed Use Buildings. Mixed use buildings shall be permitted subject to the following:
  - a. Architectural Standards. Mixed use buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
- ii. Within the areas of the West Campus to be rezoned I-1, as shown on the GDP:
  - a. Commercial/Office. Commercial/Office buildings shall be permitted subject to the following:
    - i. Architectural Standards. Commercial/Office buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
  - b. Warehouse/Storage. Warehouse/Storage buildings shall be permitted subject to the following:
    - i. Architectural Standards. Warehouse/Storage buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
  - c. Industrial/Flex. Industrial/flex buildings shall be permitted subject to the following:
    - i. Architectural Standards. Industrial/flex buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
- iii. Within the areas of the East Campus to be rezoned MU-3, as shown on the GDP:
  1. Detached Homes. Detached homes shall be permitted subject to the following:

- a. Architectural Standards. Detached homes shall be developed consistent with the elevations set forth in the Design Guidelines.
2. Attached Homes. Attached homes shall be permitted subject to the following:
  - a. Architectural Standards. Attached homes shall be developed consistent with the elevations set forth in the Design Guidelines.
3. Townhouse Buildings. Townhouse buildings shall be permitted subject to the following:
  - a. Architectural Standards. Townhouse buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
4. General Buildings. General buildings shall be permitted subject to the following:
  - a. Architectural Standards. General buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
5. Apartment Buildings. Apartment buildings shall be permitted subject to the following:
  - a. Architectural Standards. Apartment buildings shall be developed consistent with the elevations set forth in the Design Guidelines.
6. Recreational Amenities. For purposes of the detached homes, attached homes, apartment buildings and townhouse buildings to be constructed on the East Campus, the Applicant, its successors or assigns, shall provide at a minimum, four (4) of the following amenities: nature trails (not otherwise identified on the GDP), outdoor fitness stations, children’s playground, community gardens, pocket parks, or outdoor benches/seating areas (“East Campus Amenities”).

g. Phasing.

- i. The developer of residential units of the West Campus shall provide the following improvements prior to the issuance of the first certificate of occupancy for a residential unit on the West Campus:
  1. the West Campus Site Driveway 3 Entrance Improvements; and
  2. the Covenants.
- ii. The developer of residential units of the East Campus shall provide the following improvements prior to the issuance of the first certificate of occupancy for a residential unit on the East Campus:
  1. the East Campus Site Driveway 2 Entrance Improvements; and
  2. the Covenants.
- iii. No more than one hundred (100) residential units permitted on the East Campus shall receive a final certificate of occupancy until the developer of such residential units has constructed:
  1. The High School Connection.
- iv. No more than two hundred fifty (250) residential units permitted on the West Campus shall receive a final certificate of occupancy until the developer of such residential units has constructed:
  1. the West Campus Amenities; and
  2. the Marked Pedestrian Crosswalk.
- v. No more than two hundred fifty (250) residential units permitted on the East Campus shall receive a final certificate of occupancy until the developer of such residential units has constructed:
  1. the East Campus Amenities;
  2. the East Campus Site Driveway 1 Entrance Improvements; and
  3. the High School Connection.

h. Protective Covenants. Prior to or concurrent with receipt of the first certificate of occupancy for any portion of the Property, a document setting forth controls on the development and maintenance of that portion of the Property (the "Covenants") shall be established, and any such Covenants may establish one or more property owners' associations (the "Association"). Different Covenants may be provided for various portions of the Property provided an Association shall be responsible for the maintenance of all common areas within the relevant portion of the Property, as set forth in the Covenants. The articles of incorporation or organization and bylaws or operating agreement of such Association shall be submitted to and reviewed for approval by the County Attorney prior to recordation of the final plat for the portion

of the Property being developed. The Covenants shall be recorded in the County Circuit Court Clerk's Office, and the final Proffers accepted with this Rezoning Case Number R20-0010 shall be attached as an exhibit to and recorded with such Covenants.

i. Signage. All monument signs on the Property shall be in conformance with the materials and design of the existing River Run monument sign at the River Run Parkway and Patriot Highway intersection, with a portion of the sign consisting of masonry material (brick, stone, or brick veneer), as approved by the County Zoning Administrator at the time of site plan approval.

j. Pedestrian Areas and Circulation.

i. Pedestrian and bicycle areas on the Property shall be in conformance with the materials, location and design of the trails, paths, and sidewalks shown on the pedestrian access plan provided in the GDP, as approved by the County Zoning Administrator at the time of the first site plan approval.

ii. No more than one hundred (100) residential units permitted on the East Campus shall receive a final certificate of occupancy until the developer of such residential units has constructed an inter-parcel pedestrian and bicycle connection from the East Campus to Massoponax High School (the "High School Connection") in the location approved by the County Zoning Administrator as part of site plan approval.

k. Street Plan. Public and private roads internal to the Project shall be in conformance with the street plan provided in the GDP, as approved by the County Zoning Administrator at the time of site plan approval.

l. Archaeological Site Survey. Prior to the application of a site plan for development on the East Campus, the East Campus developer shall first complete a Phase IA Archaeological Site Survey for the portion of the East Campus to be included in the site plan, to determine if cultural resources are located within such areas. In the event a cultural resource is located the developer shall preserve, dedicate, donate, or relocate the cultural resources as appropriate and the GDP shall be updated based on such findings, as approved by the County Zoning Administrator at the time of site plan approval.

**III. TRANSPORTATION AND DEDICATIONS.**

a. Road Improvements and Dedications. Subject to County and VDOT approvals for the development of the Project, the Applicant, its successors or assigns, agrees to provide the following road improvements and dedications, if required by the County at the time of any Plan of Development or subdivision review, as more particularly detailed and set forth within the Traffic Impact Analysis entitled, "Ni Village, Spotsylvania County, Virginia", prepared by Ramey Kemp & Associates dated October, 2021 and attached hereto as Exhibit C (the "TIA"):



- i. East Campus Site Driveway 1 Entrance Improvements. No more than two hundred fifty (250) residential units permitted on the East Campus shall receive a final certificate of occupancy until the developer of residential units on the East Campus constructs the following site entrance improvements, as set forth in the TIA (the “East Campus Site Driveway 1 Entrance Improvements”) :
  1. Patriot Highway at Quarry Driveway / Site Driveway 1:
    - a. Construct a northbound right-turn lane on Patriot Highway with two hundred (200) feet of storage;
    - b. Construct one southbound left-turn lane on Patriot Highway with two hundred (200) feet of storage; and
    - c. Provide one ingress lane and two egress lanes on Site Driveway 1.
- ii. East Campus Site Driveway 2 Entrance Improvements. The developer of residential units on the East Campus shall construct the following Site Driveway 2 entrance improvements, as set forth in the TIA, prior to the issuance of the first (1<sup>st</sup>) final certificate of occupancy for a residential unit on the East Campus (the “East Campus Site Driveway 2 Entrance Improvements”) :
  1. Patriot Highway at Site Driveway 2:
    - a. Construct one northbound right-turn lane on Patriot Highway with two hundred (200) feet of storage;
    - b. Construct one southbound left-turn lane on Patriot Highway with two hundred (200) feet of storage; and
    - c. Provide one ingress lane and one egress lane on Site Driveway 2.
- iii. Patriot Highway – Right of Way Dedication. At the time of site plan approval for development on the East Campus, Applicant shall dedicate the necessary portions of the Property located on the eastern line of Patriot Highway to provide seventy-five (75) feet of public right of way, as measured from the centerline of Patriot Highway. If it is determined by the County or VDOT that such dedication area is not required or has been provided by others, then such dedication shall no longer be required of the developer of the East Campus.
- iv. Shared-Use Paths.

1. East Campus. No more than fifty (50) residential units permitted on the East Campus shall receive a final certificate of occupancy until the developer of the East Campus constructs a 10-foot VDOT standard shared-use path along Patriot Highway beginning on the east side of Patriot Highway at the River Run Parkway intersection continuing south along the East Campus property frontage to the southern property line, unless otherwise approved by the County. This shared-use path shall be located within the VDOT right-of-way along Patriot Highway.
2. West Campus. No more than fifty (50) residential units permitted on the West Campus shall receive a final certificate of occupancy until the developer of the West Campus constructs a 10-foot VDOT standard shared-use path (i) within the VDOT right-of-way along Patriot Highway beginning on the west side of Patriot Highway at the northern property line continuing south along the West Campus property frontage to the River Run Parkway intersection, unless otherwise approved by the County; and (ii) along River Run Parkway beginning at the Patriot Highway intersection and continuing west along River Run Parkway through the West Campus, continuing west along the proposed public road to the proposed public road intersection with the proposed future extension of Guinea Station Road, and continuing west along such future extension to the property boundary line of the West Campus, unless otherwise approved by the County.
- v. West Campus Site Entrance Improvements. The developer of residential units on the West Campus shall construct the following Site Driveway 3 entrance improvements, as set forth in the TIA, prior to the issuance of the first (1<sup>st</sup>) final certificate of occupancy for a residential unit on the West Campus (the "West Campus Site Entrance Improvements"):
  1. Patriot Highway at Site Driveway 3:
    - a. Construct one northbound left-turn lane on Patriot Highway with two hundred (200) feet of storage;
    - b. Construct one southbound right-turn lane on Patriot Highway with two hundred (200) feet of storage; and
    - c. Provide one ingress lane and one egress lane on Site Driveway 3.
- vi. Marked Pedestrian Crosswalk. The developer of residential units on the West Campus shall add a marked pedestrian crosswalk at the intersection of Patriot Highway at the River Run Parkway and Massaponax High

School driveway traffic signal, which shall be subject to approval by VDOT (“Marked Pedestrian Crosswalk”). No later than the issuance of the first certificate of occupancy permit for residential dwelling units on the West Campus, the developer of such residential units shall (i) submit to VDOT and diligently pursue for its approval, the plans for the pedestrian crosswalk improvements, which shall include LED countdown pedestrian signal heads and push buttons, and (ii) install the pedestrian crosswalk within the existing public right of way of Patriot Highway within twelve (12) months of receipt of VDOT approval of such plans.

b. New Co. 12 Fire and Rescue Station. Consistent with the County Capital Improvement Plan (“CIP”), as requested by the County, Applicant, its successors or assigns, shall set aside a minimum of 5 acres on the West Campus for County use for a potential New Fire/Rescue - Company 12 (Massaponax Area), as defined in the County CIP.

c. Guinea Station Road – Right of Way Dedication. As requested by the County, Applicant, its successors or assigns, shall dedicate to the County a right of way sixty (60) feet in width for the extension of Guinea Station Road, in the location as generally shown on the GDP.

**IV. CASH PROFFERS.**

a. The Applicant, its successors or assigns, voluntarily offers the following cash and in-kind proffers to mitigate public facility and County services impacts resulting from the development of the Project, and to facilitate growth in the County:

CASH AND IN-KIND PROFERS		
PUBLIC FACILITY / COUNTY SERVICES CATEGORY	CONTRIBUTION	TOTAL VALUE
Fire, Rescue and Emergency Management.	A minimum of 5 acres of land shall be set aside on the West Campus for use by the County for a potential New Fire/Rescue - Company 12 (as defined in the County CIP).	<b>\$1,000,000.00</b>
Parks and Recreation	A minimum of 3.5 acres of land designed and reserved for public use for pedestrian and bicycle pathway use.	<b>\$700,000.00</b>
Schools	Cash proffer to be applied towards uses at Massaponax High School.	<b>\$20,000.00</b>

Transportation	6 acres of land dedicated to the County for public road dedications for extensions of River Run Parkway and Guinea Station Road, and the extension and widening of Patriot Highway.	<b>\$1,200,000.00</b>
Transportation	Cash proffer to be applied towards the costs of constructing the Massaponax Church Road traffic signal.	<b>\$100,000.00</b>
<b>TOTAL CONTRIBUTION: \$3,020,000.00*</b>		
<p>*Total Contribution is in addition to the <b>\$1,246,686.00</b> paid by the Applicant in real property taxes since the prior rezoning in 2011 (of which the County contributed 54.1% to Schools, 17.9% to Public Safety, 3% to Parks and Recreation, and 3% to Public Works), and the <b>\$100,000.00</b> paid by the Applicant for its Hickory Ridge Road contribution (Transportation). The Applicant's grand total contribution is <b><u>\$4,366,686.00</u></b>.</p>		

- b. Phasing for Cash Proffer for Transportation – Massaponax Church Road Signal.  
The Applicant, its successors or assigns, shall pay the County One Hundred Thousand Dollars (\$100,000.00) to be applied towards the costs of constructing the Massaponax Church Road signal, to be paid as follows:
- i. \$50,000.00 to be paid by the developer of the West Campus to the County prior to the issuance of the first certificate of occupancy for any residential dwelling unit on the West Campus, and
  - ii. \$50,000.00 to be paid by the developer of the East Campus to the County prior to the issuance of the first certificate of occupancy for any residential dwelling unit on the East Campus.
- c. Phasing for Cash Proffer for Schools – Massaponax High School Contribution.
- i. \$20,000.00 to be paid by the Applicant, its successors or assigns, prior to the issuance of the first certificate of occupancy for any residential dwelling unit on the East Campus.

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[SIGNATURE PAGE TO NI VILLAGE, LLC PROFFERED CONDITIONS]

Dated \_\_\_\_\_  
Rezoning Case Number: R20-0010

NI VILLAGE, LLC

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

COMMONWEALTH OF VIRGINIA      )  
  ) TO-WIT  
CITY/COUNTY OF \_\_\_\_\_      )

The foregoing instrument was acknowledged before me, \_\_\_\_\_,  
Notary Public, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_, by \_\_\_\_\_, as  
\_\_\_\_\_ of Ni Village, LLC, a Virginia limited liability company, on behalf of the  
company.

\_\_\_\_\_  
Notary Public

Registration Number: \_\_\_\_\_

My commission expires: \_\_\_\_\_

Notary Seal

Ni Village  
Case R20-0010  
Proffers

[SIGNATURE PAGE TO NI VILLAGE, LLC PROFFERED CONDITIONS]

Dated \_\_\_\_\_  
Rezoning Case Number: R20-0010

RIVER RUN OWNERS  
ASSOCIATION, INC.

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

COMMONWEALTH OF VIRGINIA     )  
  )  
CITY/COUNTY OF \_\_\_\_\_     ) TO-WIT

The foregoing instrument was acknowledged before me, \_\_\_\_\_,  
Notary Public, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_, by \_\_\_\_\_, as  
\_\_\_\_\_ of River Run Owners Association, Inc., a Virginia corporation, on behalf of  
the corporation.

\_\_\_\_\_  
Notary Public

Registration Number: \_\_\_\_\_

My commission expires: \_\_\_\_\_

Notary Seal

[SIGNATURE PAGE TO NI VILLAGE, LLC PROFFERED CONDITIONS]

Dated \_\_\_\_\_  
Rezoning Case Number: R20-0010

BARBER PROPERTY  
MANAGEMENT LLC

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

COMMONWEALTH OF VIRGINIA      )  
  )  
CITY/COUNTY OF \_\_\_\_\_        )  
  )  
  ) TO-WIT

The foregoing instrument was acknowledged before me, \_\_\_\_\_,  
Notary Public, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_, by \_\_\_\_\_, as  
\_\_\_\_\_ of Barber Property Management LLC, a Virginia limited liability company, on  
behalf of the company.

\_\_\_\_\_  
Notary Public

Registration Number: \_\_\_\_\_

My commission expires: \_\_\_\_\_

Notary Seal

[SIGNATURE PAGE TO NI VILLAGE, LLC PROFFERED CONDITIONS]

Dated \_\_\_\_\_  
 Rezoning Case Number: R20-0010

LUCK STONE CORPORATION

By: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_

COMMONWEALTH OF VIRGINIA            )  
   ) TO-WIT  
 CITY/COUNTY OF \_\_\_\_\_            )

The foregoing instrument was acknowledged before me, \_\_\_\_\_,  
 Notary Public, this \_\_\_ day of \_\_\_\_\_, 20\_\_\_, by \_\_\_\_\_, as  
 \_\_\_\_\_ of Luck Stone Corporation, a Virginia corporation, on behalf of the  
 corporation.

\_\_\_\_\_  
 Notary Public  
 Registration Number: \_\_\_\_\_  
 My commission expires: \_\_\_\_\_

Notary Seal





Ni Village  
Case R20-0010  
Proffers

EXHIBIT A  
GENERALIZED DEVELOPMENT PLAN  
(SEE ATTACHED)

# GENERALIZED DEVELOPMENT PLAN FOR NI VILLAGE

## BERKELEY VOTING DISTRICT SPOTSYLVANIA COUNTY, VIRGINIA REZONING #R20-0010



VICINITY MAP  
SCALE 1" = 200'

**NOVEMBER 10, 2020**

### SITE LOCATION

**APPLICANT/DEVELOPER**  
NI VILLAGE, LLC  
P.O. BOX 26982  
RICHMOND, VA 23242  
CONTACT: VIK MURTHY  
PHONE: (804) 304-4899  
EMAIL: VMURTHY@LUCKCOMPANIES.COM

**LAND PLANNER**  
CITE DESIGN  
310 N. ADAMS STREET  
RICHMOND, VA 23225  
CONTACT: ANDREW BLECKLEY, PLA  
PHONE: (804) 304-2848  
EMAIL: ABLECKLEY@CITE-DESIGN.COM

**ZONING ATTORNEY**  
ROTH JACKSON GIBBONS CONDLIN, PLC  
1519 SUMMIT AVENUE, SUITE 102  
RICHMOND, VA 23220  
CONTACT: KIMI LACY  
PHONE: (804) 956-0686  
EMAIL: KLACY@ROTHJACKSON.COM

### TRAFFIC ENGINEER

GORVON SLADE  
4851 LAKE BROOK DRIVE  
GLEN ALLEN, VA 23060  
CONTACT: CARL HULTGREN, P.E., PTOE  
PHONE: (804) 292-0578  
CH@GORVONSLADE.COM

### SURVEYOR

TIMMONS GROUP  
1001 BOULDERS PARKWAY, SUITE 300  
RICHMOND, VA 23225  
CONTACT: DWAYNE DUNEVANT, LS  
PHONE: (804) 200-6900  
EMAIL: DWAYNE.DUNEVANT@TIMMONS.COM

### CIVIL ENGINEER

TIMMONS GROUP  
1001 BOULDERS PARKWAY, SUITE 300  
RICHMOND, VA 23225  
CONTACT: DWAYNE DUNEVANT, LS  
PHONE: (804) 200-6900  
EMAIL: DWAYNE.DUNEVANT@TIMMONS.COM

### ZONING ATTORNEY

ROTH JACKSON GIBBONS CONDLIN, PLC  
1519 SUMMIT AVENUE, SUITE 102  
RICHMOND, VA 23220  
CONTACT: KIMI LACY  
PHONE: (804) 956-0686  
EMAIL: KLACY@ROTHJACKSON.COM

**NOT APPROVED FOR CONSTRUCTION  
PROVIDED FOR INFORMATIONAL  
PURPOSES ONLY - SUBJECT TO CHANGE**

THIS PLAN IS PROVIDED FOR JURISDICTIONAL REVIEW AND APPROVAL AND SHALL NOT BE USED FOR ANY OTHER PURPOSES.  
UNDESIGNED UTILITIES MAY BE IN THE CONSTRUCTION AT THIS LOCATION. THE APPLICANT SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND PROVIDING A LIST OF UTILITIES TO THE ENGINEER PRIOR TO STARTING WORK.

**QUALITY ASSURANCE STATEMENT**  
I, the undersigned, hereby certify that I am a duly Licensed Professional Engineer in the State of Virginia and that I am duly Licensed Professional Engineer in the State of Virginia and that I am duly Licensed Professional Engineer in the State of Virginia and that I am duly Licensed Professional Engineer in the State of Virginia.

**Sheet List Table**

Sheet Number	Sheet Title
CO-0	COVER SHEET
C10 - C12	BOUNDARY PLAT
C13 - C15	PROPOSED ZONING PLAT
C16 - C18	EXISTING CONDITIONS & ENVIRONMENTAL FEATURES
L-01	EXISTING CONDITIONS PLAN
L-02	LAND USE PLAN
L-03	PERESTRIM ACCESS PLAN
L-04	STREET PLAN
C19	UTILITY INFORMATION PLAN
C20	STORMWATER MANAGEMENT PLAN
C21	SHORT-DISTANCE PLAN

**GENERAL NOTES**

- THIS PROJECT INCLUDES THE FOLLOWING PROPERTIES:
- THE TOTAL AREA TO BE REZONED IS 10.1 ACRES, WITH 10.1 ACRES OF THE PROPERTY BEING SUBJECT TO THIS ZONING DISTRICT. THE TOTAL AREA TO BE REZONED IS 10.1 ACRES, WITH 10.1 ACRES OF THE PROPERTY BEING SUBJECT TO THIS ZONING DISTRICT.
- THE PROPOSED ZONING FOR THIS SITE IS R20-0010.
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- THE PROPOSED ZONING FOR THIS SITE IS R20-0010.

ADDRESS	APPLICANT	CURRENT ZONING	PROPOSED ZONING	EX
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT
750 PATRIOT HWY	NI VILLAGE, LLC	PDC/10	MU-4	VACANT

**MAJOR INTERSECTIONS WITHIN ONE-HALF MILE OF DEVELOPMENT**

ROAD NAME	TYPE	ADJACENT	ADJACENT	ADJACENT	ADJACENT
141 HIGHWAY	STATE	STATE	STATE	STATE	STATE
APPERSON RUN	LOCAL	LOCAL	LOCAL	LOCAL	LOCAL
141 HIGHWAY	STATE	STATE	STATE	STATE	STATE
APPERSON RUN	LOCAL	LOCAL	LOCAL	LOCAL	LOCAL



REVISION DESCRIPTION	DATE
1917/4/2021 REVISED PER COUNTY COMMENTS PER COUNTY COMMENTS	02/27/21
1917/4/2021 REVISED PER COUNTY COMMENTS PER COUNTY COMMENTS	02/27/21

DATE	BY	FOR
02/27/21	MM	MM
02/27/21	MM	MM

<p><b>TIMMONS GROUP</b></p> <p>1001 BELLAIR PHENIX SUITE 300   RICHMOND, VA 23228          TEL: 804.200.5000 FAX: 804.560.0158 WWW.TIMMONSGROUP.COM</p>	<p><b>NI VILLAGE</b>          BERKELEY DISTRICT - SPOTSYLVANIA COUNTY - VIRGINIA</p> <p><b>BOUNDARY PLAT</b></p>	<p>138 IN.</p> <p>461.00'</p> <p>C1.0</p>
---	--	---

THIS PLAN AND ANY INFORMATION HEREON IS THE PROPERTY OF TIMMONS GROUP AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TIMMONS GROUP.

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**TIMMONS GROUP**

1001 BELLAIR PHENIX SUITE 300 | RICHMOND, VA 23228  
 TEL: 804.200.5000 FAX: 804.560.0158 WWW.TIMMONSGROUP.COM

**NOT A BOUNDARY SURVEY**

**EXHIBIT MAP OF A CONVEYANCE SURVEY SHOWING VARIOUS PORTEPIES TO THE EAST AND WEST OF U.S. ROUTE 1 NI VILLAGE**

SPOTSYLVANIA COUNTY, VIRGINIA  
 SHEET 2 OF 3  
 DRAWN BY: J.E.L. CHECKED BY: A.C.E.

SCALE 1"=200'

**NOTES:**

- 1) ALL PORTPIES ON SURVEY SHALL BE RECORDED AT THE SPOTSYLVANIA COUNTY REGISTERED CLERK'S OFFICE.
- 2) ALL TITLE REPORTS BOUNDARIES.
- 3) ALL IMPROVEMENTS SHOWN HEREON.
- 4) ALL DIMENSIONS OF ENCUMBRANCES SHOWN HEREON.

**KEY:**

1	IN VILLAGE, LLC 1001 BELLAIR PHENIX SUITE 300 RICHMOND, VA 23228 ZONING: POC / VC
2	IN VILLAGE, LLC 1001 BELLAIR PHENIX SUITE 300 RICHMOND, VA 23228 ZONING: POC / VC
3	IN VILLAGE, LLC 1001 BELLAIR PHENIX SUITE 300 RICHMOND, VA 23228 ZONING: POC / VC
4	IN VILLAGE, LLC 1001 BELLAIR PHENIX SUITE 300 RICHMOND, VA 23228 ZONING: POC / VC
5	IN VILLAGE, LLC 1001 BELLAIR PHENIX SUITE 300 RICHMOND, VA 23228 ZONING: POC / VC
6	IN VILLAGE, LLC 1001 BELLAIR PHENIX SUITE 300 RICHMOND, VA 23228 ZONING: POC / VC
7	IN VILLAGE, LLC 1001 BELLAIR PHENIX SUITE 300 RICHMOND, VA 23228 ZONING: POC / VC

**MATCH LINE SHEET 2**

**MATCH LINE SHEET 3**

**MATCH LINE THIS SHEET**

**KEY MAP**

NTS

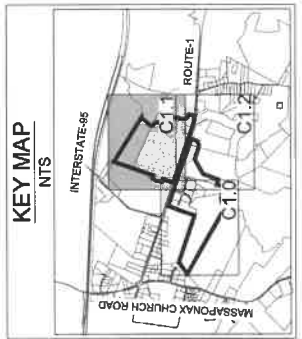
INTERSTATE 95

MASSAPONAX CHURCH ROAD

ROUTE-1

C1.0

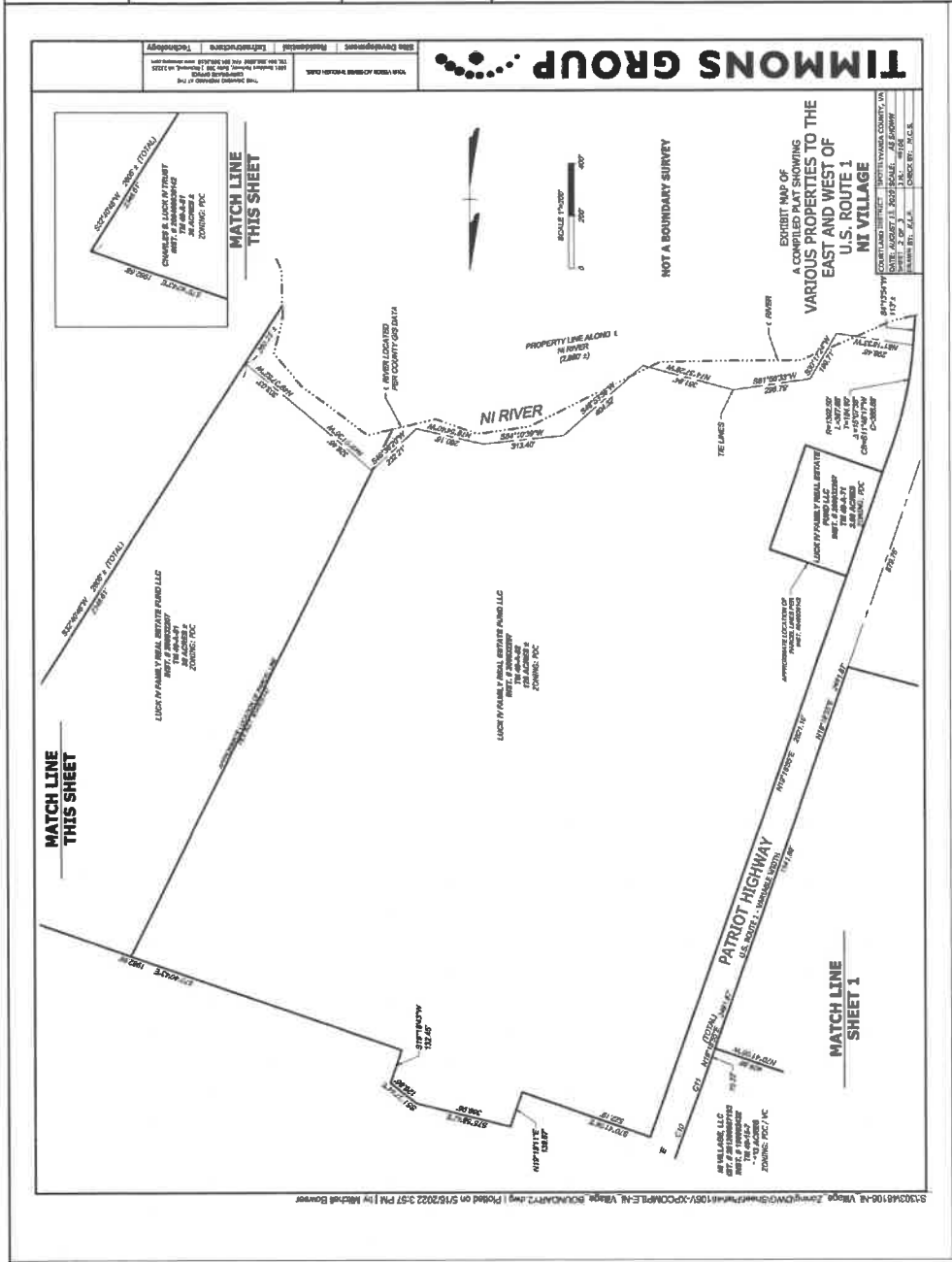
<p>APPROVAL</p>	<p>AGENT, BOARD OF SUPERVISORS</p> <p>DATE</p>
-----------------	--



APPROVAL

AGENT, BOARD OF SUPERVISORS

DATE



DATE	05/15/2022
BY	J. BOWEN
CHECKED BY	L. HALL
DATE	05/02/2021
REVISION OR ORIGINATOR	DATE
1.1	05/15/2022
1.2	05/15/2022
1.3	05/15/2022
1.4	05/15/2022
1.5	05/15/2022
1.6	05/15/2022
1.7	05/15/2022
1.8	05/15/2022
1.9	05/15/2022
2.0	05/15/2022

THIS DRAWING ENHANCED AT THE COMPANILE OFFICE  
 1001 S. Oldfield Parkway, Suite 200 | Richmond, VA 23220  
 TEL: 804.505.0000 FAX: 804.505.1515 WWW.TIMMONSGROUP.COM

YOUR VISION ACQUIRED THROUGH OURS.

TIME TO DEVELOP

REVISIONS

DATE

BY

CHECKED BY

DATE

REVISION OR ORIGINATOR

**TIMMONS GROUP**

NI VILLAGE

BOUNDARY PLAT

PERKEY DISTRICT - SPOTSYLVANIA COUNTY - VIRGINIA

FORM NO. 46106

SHEET NO. C1.1

COMMISSIONER OF LAND

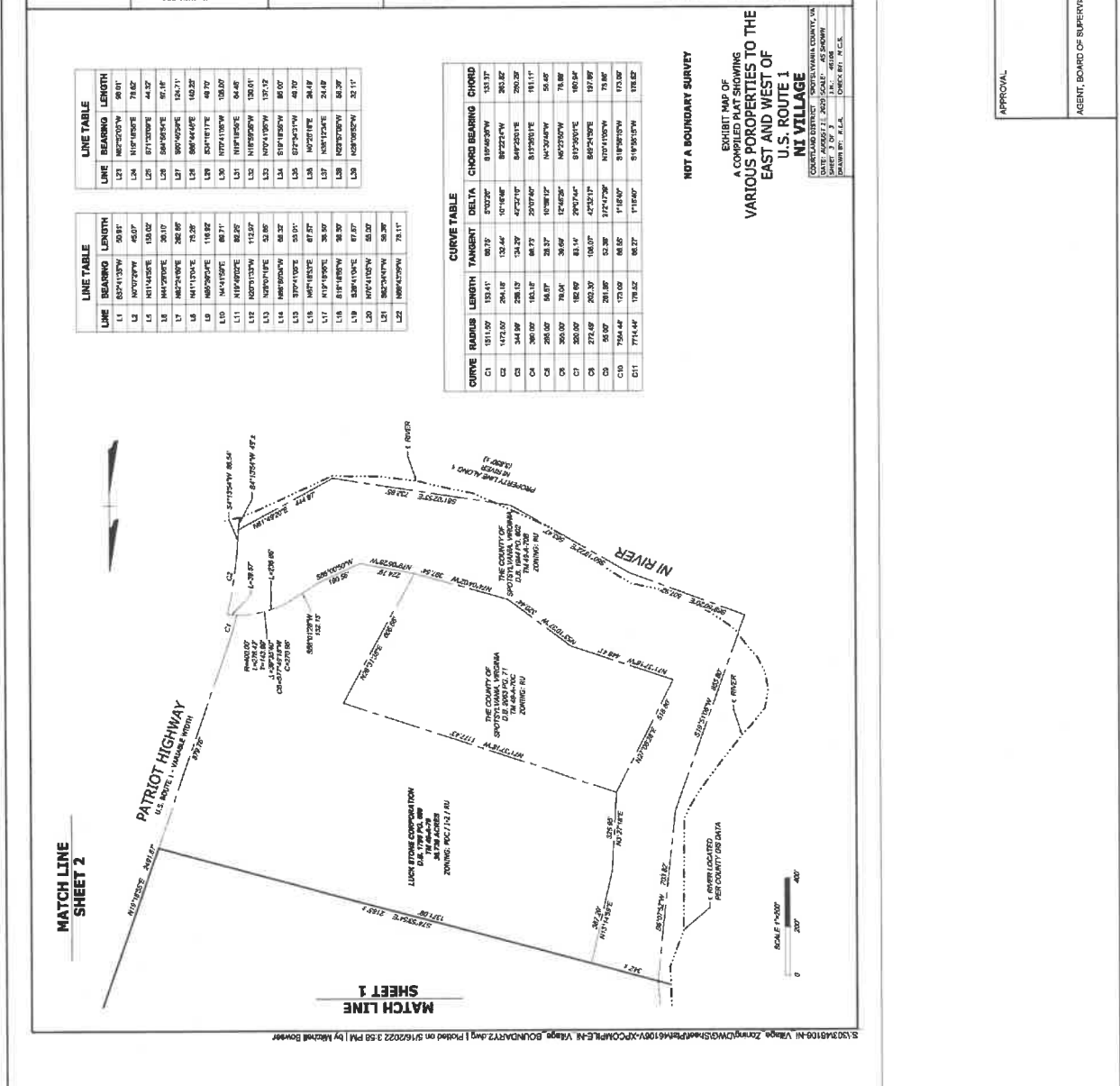
SPOTSYLVANIA COUNTY, VA

PLAT NO. 202-010000000-00000

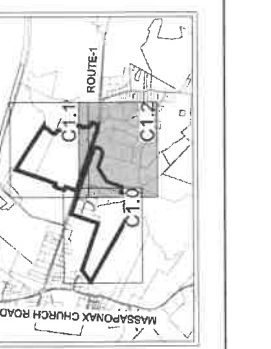
SHEET NO. 2 OF 3

CHECKED BY: JGK

DATE: 05/15/2022



LINE TABLE		CURVE TABLE		CHORD BEARING CHORD	
LINE	BEARING LENGTH	RADIUS	TANGENT DELTA	CHORD BEARING	CHORD
L1	N89°11'57"W	59.81	133.41	57°02'37"	133.37
L2	N82°22'07"W	90.11	98.72	57°02'37"	91.96
L3	N11°48'02"E	74.82	132.44	10°16'48"	263.82
L4	N11°48'02"E	44.82	284.18	47°37'41"	649.23
L5	N11°48'02"E	44.82	284.18	134.27	290.29
L6	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L7	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L8	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L9	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L10	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L11	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L12	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L13	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L14	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L15	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L16	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L17	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L18	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L19	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L20	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L21	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L22	N89°11'57"W	59.81	133.41	297°07'47"	191.11
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L39	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L40	N89°11'57"W	59.81	133.41	297°07'47"	191.11
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L98	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L99	N89°11'57"W	59.81	133.41	297°07'47"	191.11
L100	N89°11'57"W	59.81	133.41	297°07'47"	191.11





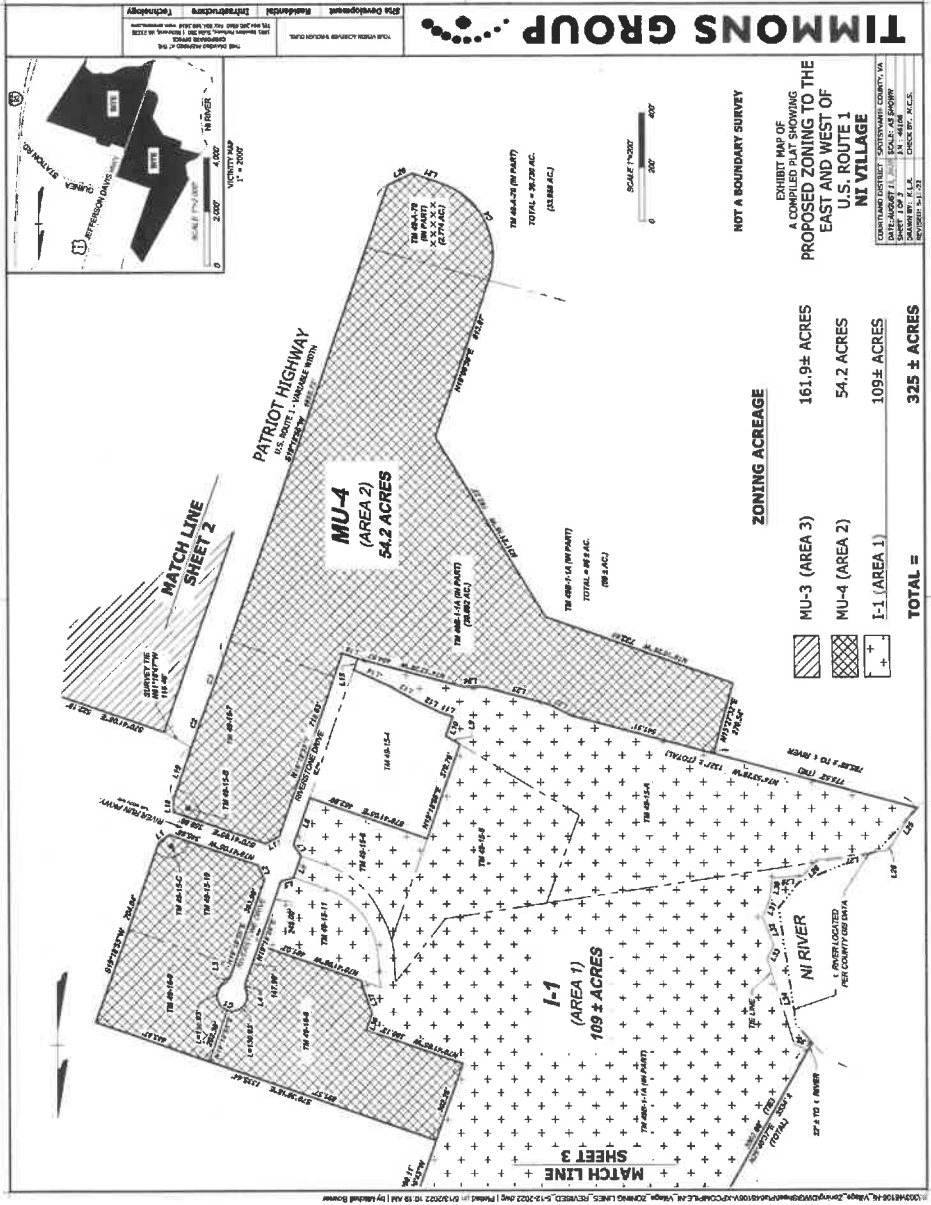
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11/14/2022	REVISED PER COUNTY COMMENTS
11/14/2022	REVISED PER COUNTY COMMENTS
11/14/2022	REVISED PER COUNTY COMMENTS

DESIGNED BY	L. HALLS
CHECKED BY	M. SCHNEIDER
DATE	11/14/2022

PROJECT NO.	461005
SHEET NO.	C2.0
DATE	

# TIMMONS GROUP

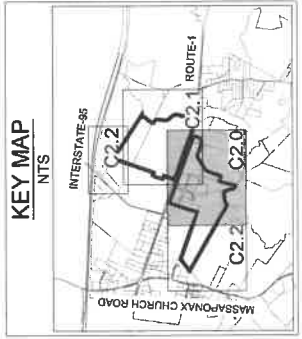
NI VILLAGE  
BERKELEY DISTRICT - SPOTSYLVANIA COUNTY - VIRGINIA  
PROPOSED ZONING PLAT



APPROVAL

AGENT, BOARD OF SUPERVISORS

DATE



# TIMMONS GROUP

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TEL: 804.750.5500 FAX: 804.562.0155 WWW.TIMMONSGROUP.COM

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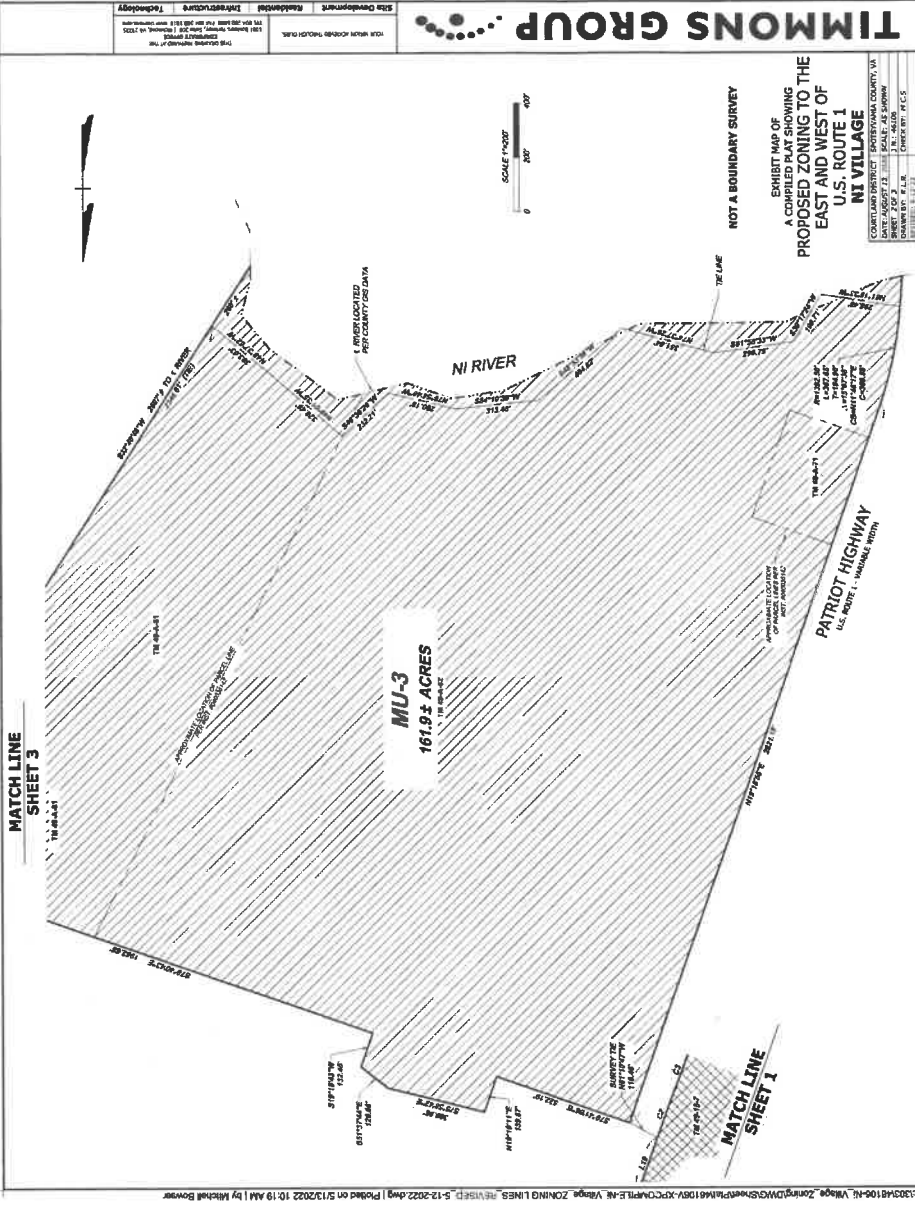
THIS DRAWING APPROVED THROUGH OURS  
YOUR VISION ACHIEVED THROUGH OURS



THIS DRAWING PREPARED AT THE TIMMONS GROUP 1001 Boulder Parkway, Suite 200   Richmond, VA 23225 TEL: 804-205-5500 FAX: 804-550-1218 WWW: TIMMONSGROUP.COM	YOUR VISION ACHIEVED THROUGH OURS.	REVISION DESCRIPTION DATE 10/14/2021 REVISED PER COUNTY COMMENTS 10/14/2021 REVISED PER COUNTY COMMENTS 10/14/2021 REVISED PER COUNTY COMMENTS	PROJECT NO. 463.106	SHEET NO. C2.1
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# TIMMONS GROUP

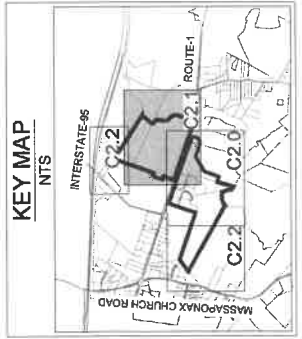
NI VILLAGE  
 BERKELEY DISTRICT - SPOTSYLVANIA COUNTY - VIRGINIA  
 PROPOSED ZONING PLAT



MATCH LINE  
SHEET 3

MATCH LINE  
SHEET 1

APPROVAL	DATE
AGENT, BOARD OF SUPERVISORS	



3/20/24 10:05 AM, Virginia Zoning/DWG/CS/WH/PT/6109V-KPC/CH/LE/RE/VIRGINIA ZONING LINES, REVISED, 5-12-2022, DWG | PUBLISHED ON 5/13/2022 10:19 AM | BY MICHAEL BOVNER





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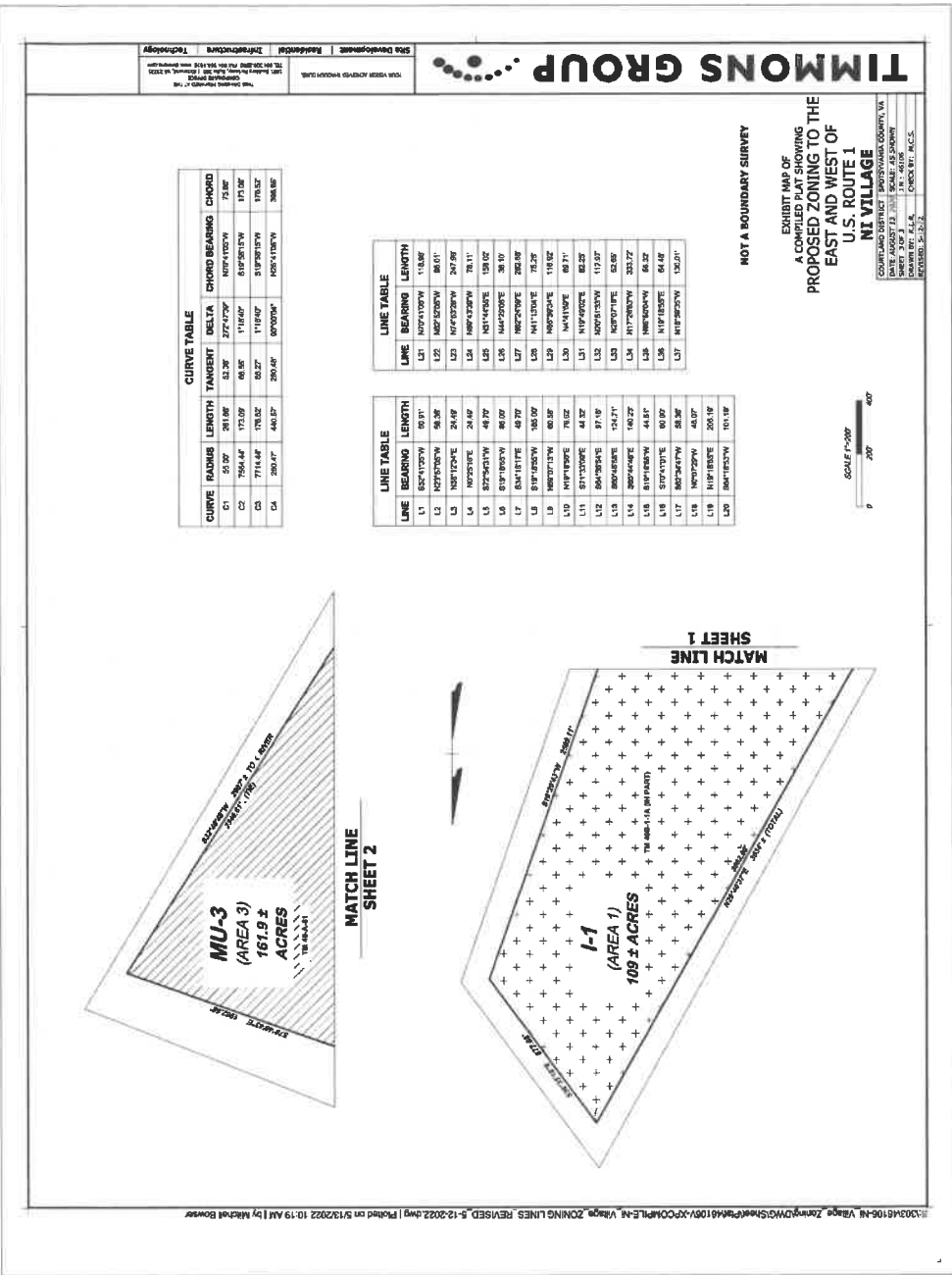
DATE	REVISION DESCRIPTION
10/11/2023	REVISED PER COUNTY COMMENTS
09/14/2023	REVISED PER COUNTY COMMENTS
07/27/23	REVISED PER COUNTY COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.

**TIMMONS GROUP**

NI VILLAGE  
BERKELEY DISTRICT - SPOTSYLVANIA COUNTY - VIRGINIA  
PROPOSED ZONING PLAN

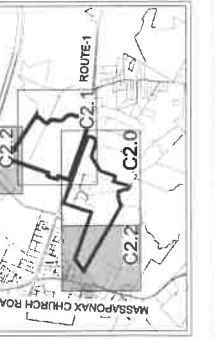
DATE: 4/6/2025  
SHEET NO.: C2.2



APPROVAL

AGENT, BOARD OF SUPERVISORS

DATE



1:03:16:105:14 Village Zoning DWG:5hskRm46109VZ-COAPLE-4 Village ZONING LINES REVISED 5-12-2022 DWG | PUBLISHED ON 5/13/2022 10:19 AM | BY: Michael Bowser



DATE	REVISION DESCRIPTION
11/14/2022	REVISED PER COUNTY COMMENTS
05/03/2022	REVISED PER COUNTY COMMENTS
12/02/2020	

DESIGNED BY	J. HALL
CHECKED BY	J. HALL
DATE	12/02/2020

DATE	AGENT, BOARD OF SUPERVISORS
12/02/2020	

DATE	AGENT, BOARD OF SUPERVISORS
12/02/2020	

YOUR VISION AGREED THROUGH OURS.

THIS DRAWING PERFORMED AT THE REQUEST OF THE CLIENT. IT IS THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

1001 BOLDEN PARKWAY, SUITE 200 | RICHMOND, VIRGINIA 23225  
 TEL: 804.550.5509 FAX: 804.550.5515 WWW.TIMMONSGROUP.COM

**EXISTING CONDITIONS & ENVIRONMENTAL FEATURES**

**NI VILLAGE**

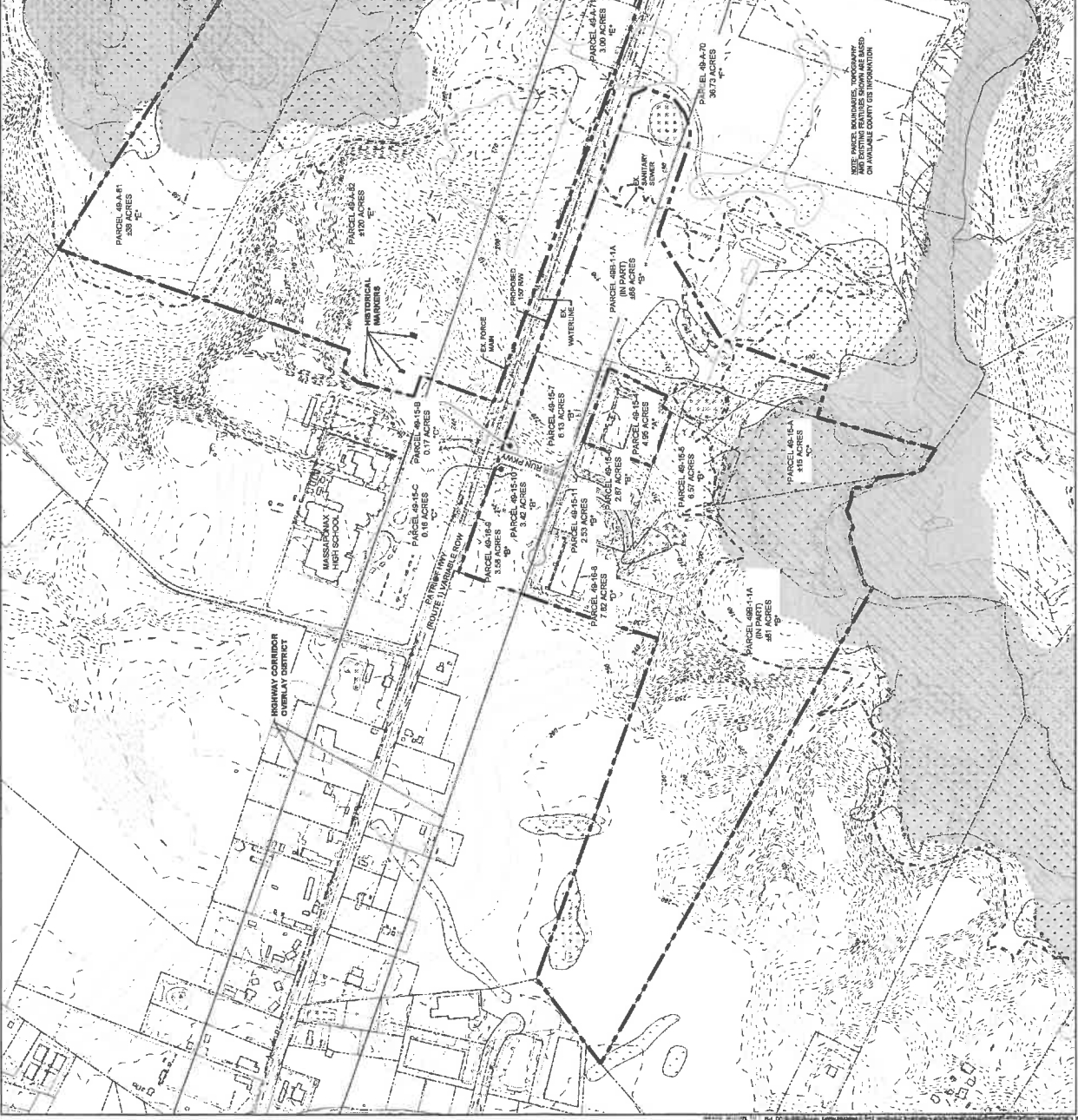
**BENKELEY DISTRICT - SPOTSYLVANIA COUNTY - VIRGINIA**

DATE: 12/02/2020

AGENT, BOARD OF SUPERVISORS: [Blank]

SCALE: 1" = 300'

NS, ON



**LEGEND**

- SITE BOUNDARY
- PARCEL LINE
- PROPOSED RIGHT OF WAY (20' WIDENING)
- EXISTING RIGHT OF WAY
- EXISTING SANITARY SEWER
- EXISTING SANITARY MAIN
- EXISTING WATERLINE
- EXISTING WETLANDS
- EXISTING FLOODPLAIN
- EXISTING WATERLINE
- EXISTING HIGHWAY CORRIDOR OVERLAY DISTRICT

**EXPLANATIONS**

- 1" - INDICATES PARCEL OWNED BY "SPOTSYLVANIA COUNTY SCHOOL BOARD"
- 2" - INDICATES PARCEL OWNED BY "NI VILLAGE"
- 3" - INDICATES PARCEL OWNED BY "LUCKY PROPERTY HOLDINGS LLC"
- 4" - INDICATES PARCEL OWNED BY "BARBER PROPERTY HOLDINGS LLC"
- 5" - INDICATES PARCEL OWNED BY "LUCKY PROPERTY HOLDINGS LLC"
- 6" - INDICATES PARCEL OWNED BY "LUCKY PROPERTY HOLDINGS LLC"

REVISION	DATE	DESCRIPTION
1	11-07-21	Initial
2	01-11-22	Revised per County comments
3	12-15-22	Revised per County comments

**NI VILLAGE**  
GENERAL DEVELOPMENT PLAN  
SPOTSYLVANIA COUNTY, VA  
AUGUST 26, 2020

EXISTING  
CONDITIONS  
PLAN  
**L01**

**100 year floodplain**

Existing Salamander Loop Trail

RPA (typ)

NI River (typ)

Existing stormwater pond (typ)

Historical markers and artifacts

Archaeological resources associated with the Vauxhall Manor Site (DHR ID 44900278)\*\*

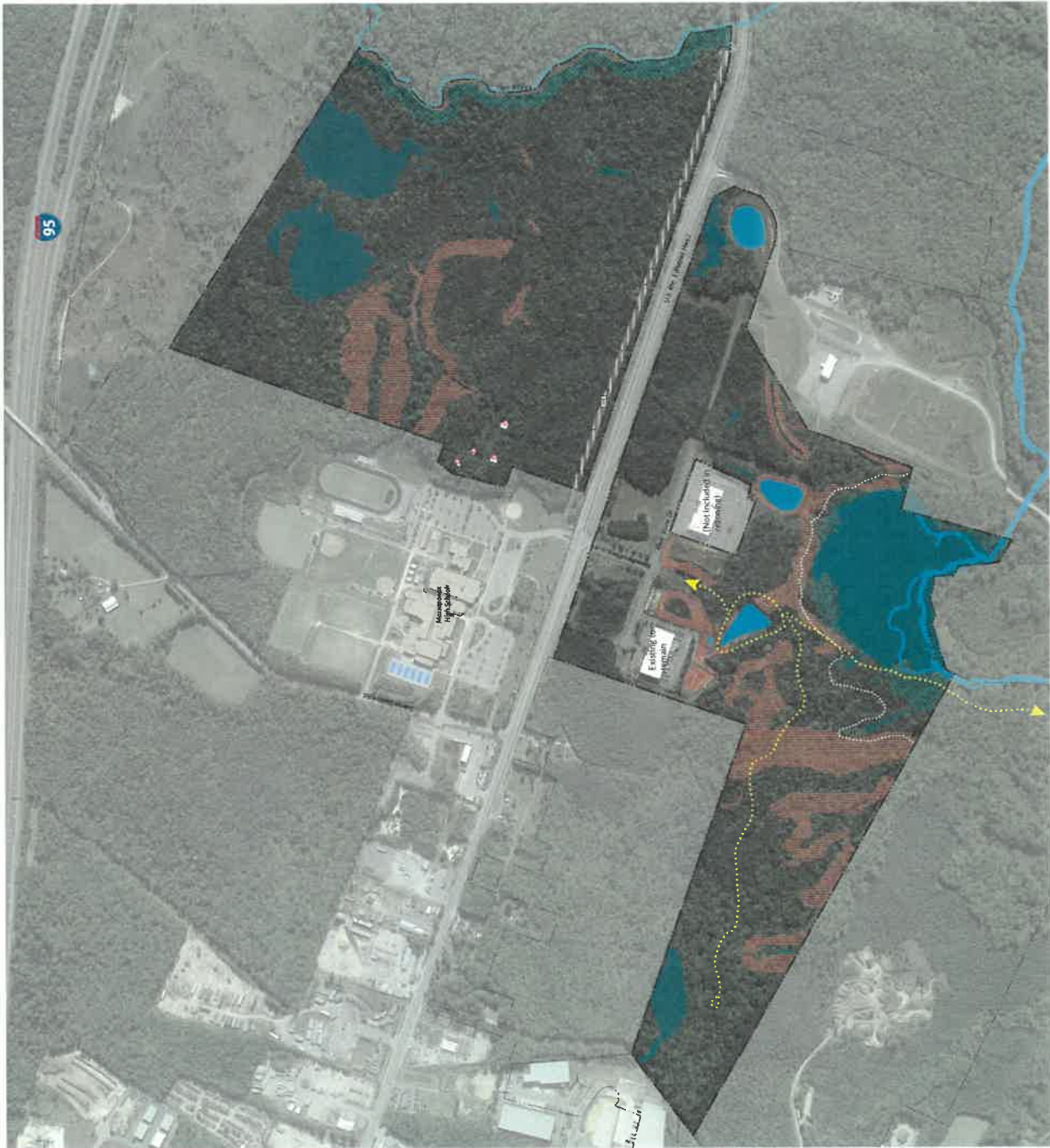
Overhead power easement

Wetlands (typ.)\*

Slope slopes (>15%)

\* Preliminary location. Full wetlands delineation to be conducted before site plan.

\*\* Prior to the application of a site plan for development on the East Campus, the East Campus developer shall first complete a Phase IA Archaeological Site Survey for the portion of the East Campus to be included in the site plan, to determine if cultural resources are located within the site. If cultural resources are located within the site, the developer shall preserve, dedicate, donate, or relocate the cultural resources as appropriate, and the GDP shall be updated based on such findings, as approved by the County Zoning Administrator at the time of site plan approval.



1-1

**Permitted Uses:**  
 Commercial/office<sup>†</sup>  
 Warehouse/storage<sup>†</sup>  
 Industrial/office<sup>†</sup>

**Table 1**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Permitted Uses<sup>\*\*</sup>:**  
 Public Facility  
 Townhouse Dwelling  
 Attached Dwelling

**Table 2**

**Permitted Uses<sup>\*\*</sup>:**  
 Townhouse Dwelling  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 General Business<sup>\*\*</sup>

**Table 3**

**Permitted Uses<sup>\*\*</sup>:**  
 Attached Dwelling  
 Apartment Dwelling  
 General Business<sup>\*\*</sup>

**Table 4**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 5**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 6**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 7**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 8**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 9**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 10**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 11**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 12**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 13**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 14**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 15**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 16**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 17**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 18**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 19**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 20**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 21**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 22**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 23**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 24**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 25**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 26**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 27**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 28**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 29**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 30**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 31**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 32**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

**Table 33**

**Permitted Uses<sup>\*\*</sup>:**  
 General Business<sup>\*\*</sup>  
 Apartment Dwelling  
 Retail Sales, Service, Entertainment<sup>\*\*</sup>  
 Attached Dwelling  
 Vehicle Accommodations<sup>\*\*</sup>

Use Category <sup>1</sup>	MU-3	MU-4
General Business <sup>**</sup>	Office Business office or supply establishment Corporate office and/or executive office Research and development Warehouse distribution facility	Office Retail service establishment Scientific research and development Warehouse distribution facility
Multi-Family Dwelling	Multi-family housing Apartment building Townhouse Single detached dwelling Mobile home park Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house	Multi-family housing Apartment building Townhouse Single detached dwelling Mobile home park Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house
Retail Sales, Service, Entertainment <sup>**</sup>	Automotive repair and maintenance Dry cleaning Laundromat Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house	Automotive repair and maintenance Dry cleaning Laundromat Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house
Vehicle Accommodations <sup>**</sup>	Motor vehicle repair and maintenance Car wash Detailing Waxing Tinting Painting Automotive parts and accessories Tire service Lubrication Wash and wax Auto storage Car wash Detailing Waxing Tinting Painting Automotive parts and accessories Tire service Lubrication Wash and wax Auto storage	Motor vehicle repair and maintenance Car wash Detailing Waxing Tinting Painting Automotive parts and accessories Tire service Lubrication Wash and wax Auto storage

Use Category <sup>1</sup>	MU-3
General Business <sup>**</sup>	Office Business office or supply establishment Corporate office and/or executive office Research and development Warehouse distribution facility
Multi-Family Dwelling	Multi-family housing Apartment building Townhouse Single detached dwelling Mobile home park Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house
Retail Sales, Service, Entertainment <sup>**</sup>	Automotive repair and maintenance Dry cleaning Laundromat Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house
Vehicle Accommodations <sup>**</sup>	Motor vehicle repair and maintenance Car wash Detailing Waxing Tinting Painting Automotive parts and accessories Tire service Lubrication Wash and wax Auto storage

Use Category <sup>1</sup>	MU-3
General Business <sup>**</sup>	Office Business office or supply establishment Corporate office and/or executive office Research and development Warehouse distribution facility
Multi-Family Dwelling	Multi-family housing Apartment building Townhouse Single detached dwelling Mobile home park Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house
Retail Sales, Service, Entertainment <sup>**</sup>	Automotive repair and maintenance Dry cleaning Laundromat Child care center Elder care facility Day care center Nursing home Detached duplex Townhouse duplex Row house
Vehicle Accommodations <sup>**</sup>	Motor vehicle repair and maintenance Car wash Detailing Waxing Tinting Painting Automotive parts and accessories Tire service Lubrication Wash and wax Auto storage



Use	West Campus (MU-3, I-1) (Parcel A, B, C, D, E, F, G, H)	East Campus (MU-3) (Parcels I, J, K, L, M, N, O)
General Business <sup>**</sup>	1,000,000 SF max.	...
Residential apartment dwelling, detached dwelling, attached dwelling	300 units min., ...	500 units min., ...
Retail sales, Service, Entertainment <sup>**</sup>	275,000 SF min.	...

See attachments to find out more about the standards for each zoning category.  
 \*\*\* (Where provided) shall not exceed 75% total residential units.

**Landscape Types**

- A Existing street trees to remain
- B Proposed street trees (spaced an average of 50' on center)
- C 20' Type B Street Buffer Type 1 (minimum)
- D 20' Type B Street Buffer Type 2 (minimum)

**Tree Symbols**

- Tree 1: 10' DBH
- Tree 2: 12' DBH
- Tree 3: 14' DBH
- Tree 4: 16' DBH
- Tree 5: 18' DBH
- Tree 6: 20' DBH
- Tree 7: 22' DBH
- Tree 8: 24' DBH
- Tree 9: 26' DBH
- Tree 10: 28' DBH
- Tree 11: 30' DBH
- Tree 12: 32' DBH
- Tree 13: 34' DBH
- Tree 14: 36' DBH
- Tree 15: 38' DBH
- Tree 16: 40' DBH
- Tree 17: 42' DBH
- Tree 18: 44' DBH
- Tree 19: 46' DBH
- Tree 20: 48' DBH
- Tree 21: 50' DBH
- Tree 22: 52' DBH
- Tree 23: 54' DBH
- Tree 24: 56' DBH
- Tree 25: 58' DBH
- Tree 26: 60' DBH
- Tree 27: 62' DBH
- Tree 28: 64' DBH
- Tree 29: 66' DBH
- Tree 30: 68' DBH
- Tree 31: 70' DBH
- Tree 32: 72' DBH
- Tree 33: 74' DBH
- Tree 34: 76' DBH
- Tree 35: 78' DBH
- Tree 36: 80' DBH
- Tree 37: 82' DBH
- Tree 38: 84' DBH
- Tree 39: 86' DBH
- Tree 40: 88' DBH
- Tree 41: 90' DBH
- Tree 42: 92' DBH
- Tree 43: 94' DBH
- Tree 44: 96' DBH
- Tree 45: 98' DBH
- Tree 46: 100' DBH

**From Spotsylvania County Design Standards Manual**

- E Existing overhead power statement

**Minimum 50' tree save buffer around perimeter of property (typical)**

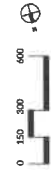
- F wetland
- G existing trees to remain
- H Existing stormwater development parcels
- I BPA
- J Existing stormwater joint (typical)
- K floodplain

Possible proposed road routes (off-property, shown for representation purposes only)

Proposed road routes (on-site, LID) for public streets and private streets

\* This site may change slightly due to grading for road connections

Other landscaping other than street trees to be planted during construction shall be indicated on the landscape plan. Other landscaping may be required along the project periphery to protect not considered with the reporting.



**Trail Standards**

The following trail types provide minimum standards for plan to these minimum standards. Additional trails may be added at owner's discretion.

- 10' shared use path\***
- 10'** Shared use path
- 10'** Shared use path
- 10'** Shared use path
- 10'** Shared use path

\* Trail for use with both one-way and two-way traffic due to safety concerns, etc.

Existing Salamander Loop Trail to remain\*\*

Trail width may be increased at developer's discretion. Width shown is a minimum.

Secondary trail\*\*

Trail width may be increased at developer's discretion. Width shown is a minimum.

Sidewalk

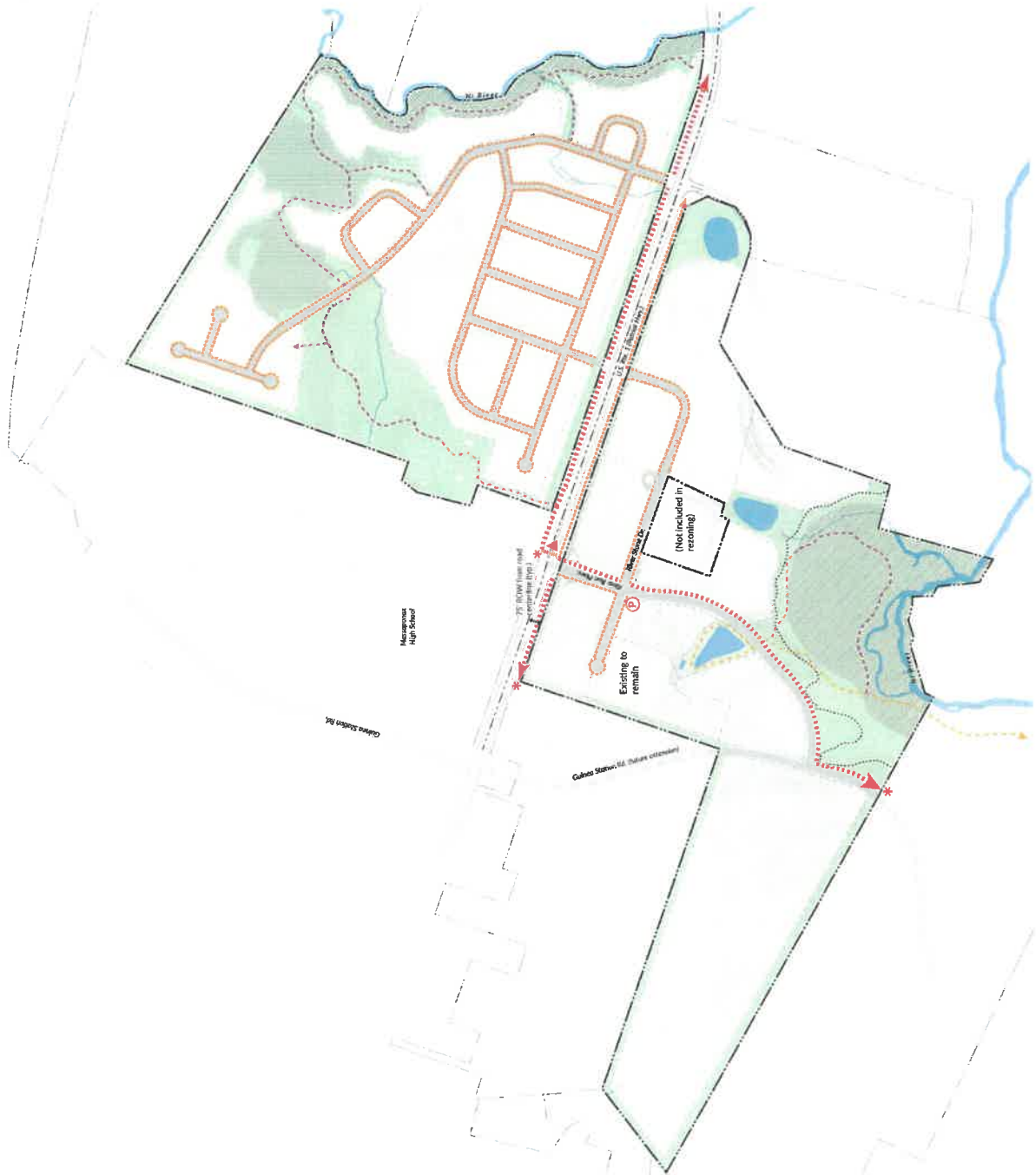
Standard will be provided in accordance with the local road code and the road surface shall be VDOT standards. Compatible adjacent uses shall be connected by sidewalks.

Min. 50% of paved parking and vehicle amenities for the trail system on the West Campus shall be provided. (Final location to be determined)

- wetland
- open space
- development parcels
- potential pedestrian connection to adjacent property
- Proposed roads
- RA
- Existing stormwater pond (typ.)
- Proposed stormwater pond (typ.)
- foreshield
- Possible proposed road routes for transportation for recreation purposes only

Use	Min. Number of Bicycle Racks*
Townhouse dwelling	1 per amenity space
Detached dwelling	1 per 10,000 SF
Existing establishment, retail sales establishment	1 per 50 parking spaces or 1 per 50 employees, whichever is less
Office	1 per 50 parking spaces or 1 per 50 employees, whichever is less
Industrial/Infer	1 per 50 parking spaces or 1 per 50 employees, whichever is less
Apartment dwelling	1 per 5 dwelling units

\* Minimum bicycle parking/dump to be dictated by user. Bicycle rack shall have a minimum capacity of two bicycles.



### Site Access:

- BA** Existing full-access intersection (align with Luck, Stone entrance)
- BA** Proposed limited access intersection (future divide of highway)
- BA** Existing signalized intersection (at River Run Parkway)
- BA** Proposed 200' turn lane with taper (per recommendations in TIA, shown for reference)
- BA** Site Driveway 1 - 1,800 vehicles per day (see TIA for additional details)
- BA** Site Driveway 2 - 2,000 vehicles per day (see TIA for additional details)
- BA** Site Driveway 3 - 2,000 vehicles per day (see TIA for additional details)

Proposed to occur at end of public right-of-way to conform with VDOT standards (align with B & E River Run Parkway and Stone Station Rd) (road details to be submitted at site plan)

- wetland
- open space
- RPA (GS)
- development parcels
- Existing stormwater
- pond (typ)
- Floodplain (GS)

### Street Standards:

- Proposed public road (see VDOT standards below. Details for each road to be submitted at site plan)
- 34' curb to curb (no parking / parking one side, ADT < 2000 VPD)
- 36' curb to curb (parking both sides, ADT 2001-4000 VPD)
- 39' curb to curb (parking both sides, ADT < 2000 VPD)

Note: Roads may be responsibly adjusted for proposed conditions with the requirements of state and federal agency regulations including, but not limited to, CH&D, VDOT, requirements of the County's development regulations and Design Standards Manual. Notwithstanding the foregoing, the Applicant shall obtain the written approval of the County's Zoning Administrator and in no event shall approved adjustments to the GDP relieve the Applicant from providing any of the projects.

### Street Standards & Site Access:

- Existing public road to remain
- Proposed private road. See minimum standards below. Streets shown as minimum only, dimensions may be increased to developer's discretion
- No street parking
- One-way movement
- Two-way movement
- Parallel street parking
- Two-way movement parking on both sides
- Angled street parking
- Two-way movement parking on both sides
- One-way movement
- Two-way movement
- Parking access
- One-way movement
- Two-way movement

Possible proposed road routes (off-property, shown for representation purposes only)

Potential connection to Junction Ln. Upon approval of the first site plan for the portion of the property, pedestrian and vehicle connection from the Property to the existing road network shall be provided. The proposed road (DS of 45'-5.1D, 49'-5.1E, 49'-5.1B, 49'-5.1A, and 49'-5.1C (the "Adjacent Properties") subject to a preliminary engineering study and approval by the Applicant and Adjacent Properties are unable, after good faith efforts, to provide a connection to the existing road network. The Applicant shall no longer be required to provide a portion of the Property to be connected to the existing road network. The Applicant shall provide a connection to the existing road network.



CLIENT: LUCK REAL ESTATE VENTURES

REVISION NO. 1-2

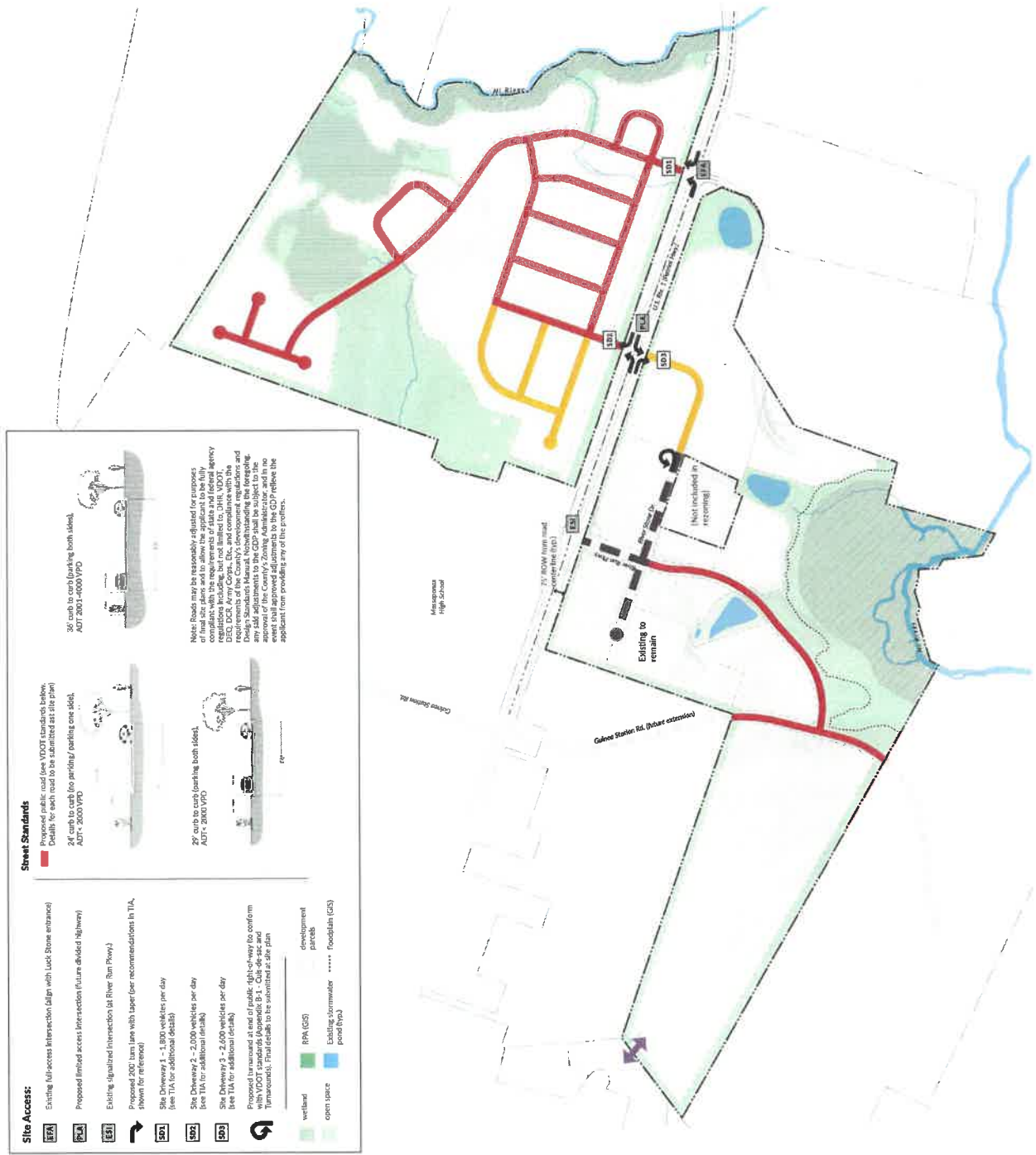
PERSON DATE: 11-01-21, 08-23-21, 02-18-21

APPROVED BY: Loudoun County Commission

DATE: 08-23-21

NI VILLAGE  
GENERAL DEVELOPMENT PLAN  
AUGUST 26, 2020  
SPOTSYLVANIA COUNTY, VA

STREET PLAN  
L05





THIS DRAWING WAS PREPARED BY THE  
 CONSULTANTS AT THE  
 ADDRESS LISTED BELOW. FOR ANY CHANGES  
 TO BE MADE, THE CLIENT MUST CONTACT THE  
 CONSULTANTS AT THE ADDRESS LISTED BELOW.  
 1001 Redwood Parkway, Suite 300 | Richmond, VA 23228  
 TEL: 804-200-2000 FAX: 804-200-1555 WWW.TIMMONSGROUP.COM

# TIMMONS GROUP

NI VILLAGE  
 UTILITY INFORMATION PLAN  
 BERKELEY DISTRICT - SPOTSYLVANIA COUNTY - VIRGINIA

DATE: 4/5/16  
 SHEET NO: C4.0

### PRELIMINARY UTILITY CONNECTIONS NARRATIVE

MULTIPLE UTILITY CONNECTION LOCATIONS WILL BE USED FOR THE PROPOSED DEVELOPMENT. THE  
 LOCATION OF EACH UTILITY CONNECTION WILL BE DETERMINED BY THE ENGINEER. THE  
 USE OF APPROXIMATE DASHED CONNECTIONS TO THE EAST OF BERKELEY DAVIDS HIGHWAY,  
 APPROXIMATELY 100 FEET EAST OF THE PROPOSED DEVELOPMENT, IS BASED ON THE  
 INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL  
 INSPECTIONS AND HAS BEEN ADVISED TO DETERMINE EXISTING UTILITY LOCATIONS WHICH WILL  
 DETERMINE PROPOSED CONNECTION POINTS.

### ESTIMATED SANITARY SEWER DEMAND

Land Use	Design Units	No. Units	Flow / Unit	Eq. Daily Flow	Peak Hour
Non-Industrial	Acres	80	15.00	0.280	0.000
Single-Family Residential	Units	475	0.172	0.003	0.000
Multi-Family Residential	Units	100	0.172	0.003	0.000
General Office	Acres	10	1.000	0.005	0.000
General Retail	Acres	10	1.000	0.005	0.000
<b>TOTAL</b>				<b>0.298</b>	<b>0.000</b>

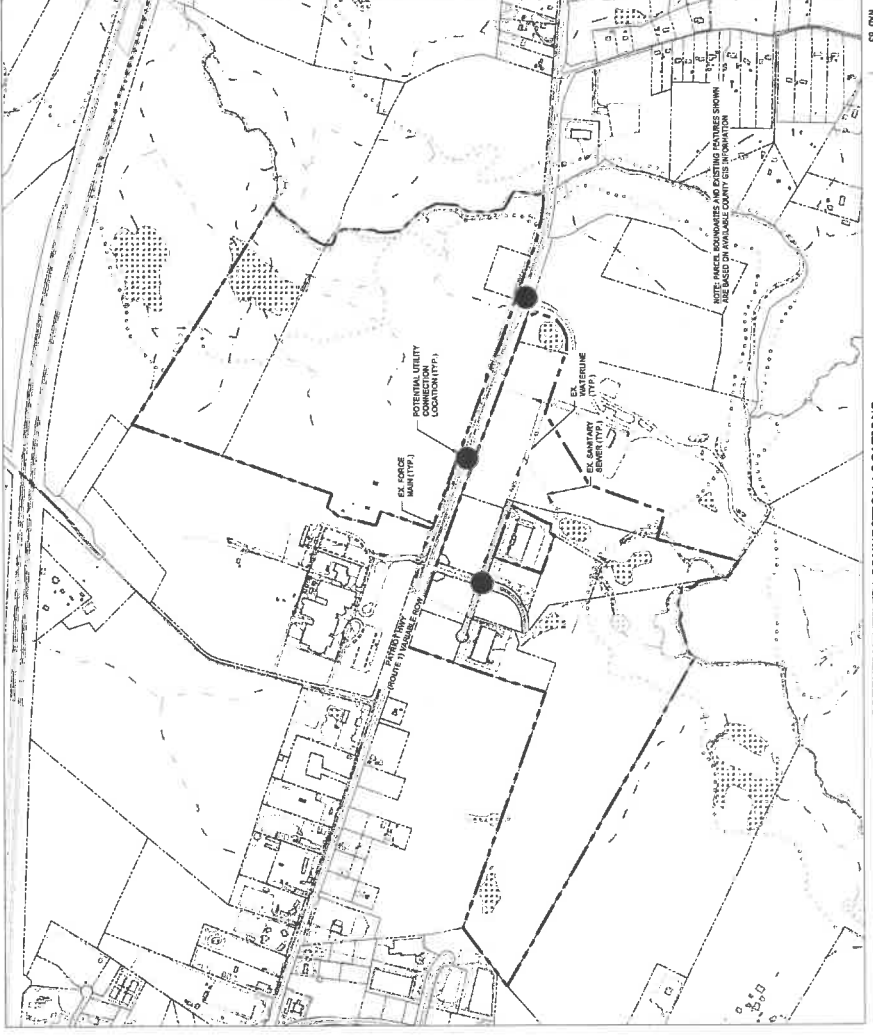
- SAMPLE NOTES:**
- SANITARY FLOWS WERE ESTIMATED USING DESIGN DEMANDS FROM THE SPOTSYLVANIA COUNTY 2018 WATER AND SEWER DESIGN INFORMATION MANUAL. DESIGN DEMANDS MAY BE DIFFERENT WHEN THE NUMBER OF UNITS PER LAND USE IS AN ESTIMATED VALUE AND IS SUBJECT TO CHANGE PERIODICALLY AS THE DESIGN PROCEEDS.
  - THE PEAK HOURLY DEMAND WAS CALCULATED AS 1.5 TIMES THE AVERAGE DAILY FLOW PER VIRGINIA STATE REGULATIONS.
  - THE PEAK HOURLY DEMAND WAS CALCULATED AS 1.5 TIMES THE AVERAGE DAILY FLOW PER VIRGINIA STATE REGULATIONS.
  - SPOTSYLVANIA COUNTY DESIGN REGULATIONS REQUIRE A 15% OVERCAPACITY TO BE PROVIDED FOR THE ENTIRE DEVELOPMENT. SANITARY SEWER CAPACITY WILL BE REDERIVED PER THE DESIGN DEVELOPMENT. SANITARY SEWER CAPACITY WILL BE REDERIVED PER THE DESIGN DEVELOPMENT.
  - EACH PROJECT ON SITE PLAN SUBMISSION RELATED TO THIS DEVELOPMENT.

### ESTIMATED WATER DEMAND

Land Use	Design Units	No. Units	Water Demand (GPD)	Avg. Daily Demand (GPD)	Peak Hour Demand (GPD)
Non-Industrial	Acres	80	3,500	284	350
Single-Family Residential	Units	475	100	15.4	17.5
Multi-Family Residential	Units	100	100	15.4	17.5
General Office	Acres	10	1,000	10.0	12.5
General Retail	Acres	10	1,000	10.0	12.5
<b>TOTAL</b>			<b>6,000</b>	<b>439</b>	<b>537</b>

- WATER DEMAND NOTES:**
- WATER AND SEWER DESIGN INFORMATION MANUAL. DESIGN DEMANDS MAY BE DIFFERENT WHEN THE NUMBER OF UNITS PER LAND USE IS AN ESTIMATED VALUE AND IS SUBJECT TO CHANGE PERIODICALLY AS THE DESIGN PROCEEDS.
  - THE PEAK HOURLY DEMAND WAS CALCULATED AS 1.5 TIMES THE AVERAGE DAILY FLOW PER VIRGINIA STATE REGULATIONS.
  - THE PEAK HOURLY DEMAND WAS CALCULATED AS 1.5 TIMES THE AVERAGE DAILY FLOW PER VIRGINIA STATE REGULATIONS.
  - SPOTSYLVANIA COUNTY DESIGN REGULATIONS REQUIRE A 15% OVERCAPACITY TO BE PROVIDED FOR THE ENTIRE DEVELOPMENT. SANITARY SEWER CAPACITY WILL BE REDERIVED PER THE DESIGN DEVELOPMENT.
  - EACH PROJECT ON SITE PLAN SUBMISSION RELATED TO THIS DEVELOPMENT.

**NOTE:** THE LOCATION OF ALL UTILITIES SHALL BE DETERMINED BY THE ENGINEER. THE LOCATION OF ALL UTILITIES SHALL BE DETERMINED BY THE ENGINEER. THE LOCATION OF ALL UTILITIES SHALL BE DETERMINED BY THE ENGINEER.



POTENTIAL UTILITY CONNECTION LOCATIONS

APPROVAL

AGENT, BOARD OF SUPERVISORS

DATE

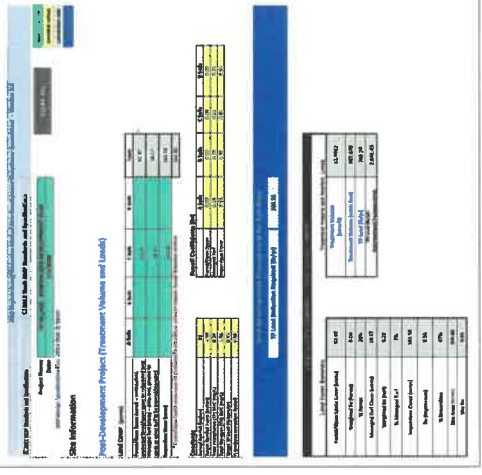
NOTE: THE POTENTIAL UTILITY LOCATIONS SHOWN ON THIS SHEET ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE ENGINEER. DESIGN AND BIDDING IS NEEDED PRIOR TO SITE PLAN APPROVAL.





<b>REVISION DESCRIPTION</b> DATE BY CHECKED BY DATE		<b>APPROVAL</b> AGENT, BOARD OF SUPERVISORS DATE	
THIS DRAWING PREPARED BY THE <b>COMPOSITE GROUP</b> 1001 Boulevard Parkway, Suite 300   Richmond, VA 23225 TEL: 804-255-9299 FAX: 804-255-9119 WWW.COMPOSITEGROUP.COM		<b>TIMMONS GROUP</b> 1001 Boulevard Parkway, Suite 300   Richmond, VA 23225 TEL: 804-255-9299 FAX: 804-255-9119 WWW.COMPOSITEGROUP.COM	

**PRELIMINARY STORMWATER MANAGEMENT CALCULATIONS**



**PRELIMINARY STORMWATER MANAGEMENT & EROSION CONTROL NARRATIVE:**

THE PROPOSED DEVELOPMENT IS SUBJECT TO PART III.B OF THE VIRGINIA STORMWATER MANAGEMENT REGULATIONS. THE REGULATIONS REQUIRE THAT THE DEVELOPER SHALL SUBMIT A PRELIMINARY STORMWATER MANAGEMENT PLAN TO THE BOARD OF SUPERVISORS FOR REVIEW AND APPROVAL. THE PLAN SHALL BE DESIGNED TO MEET STATE AND LOCAL STORMWATER REQUIREMENTS.

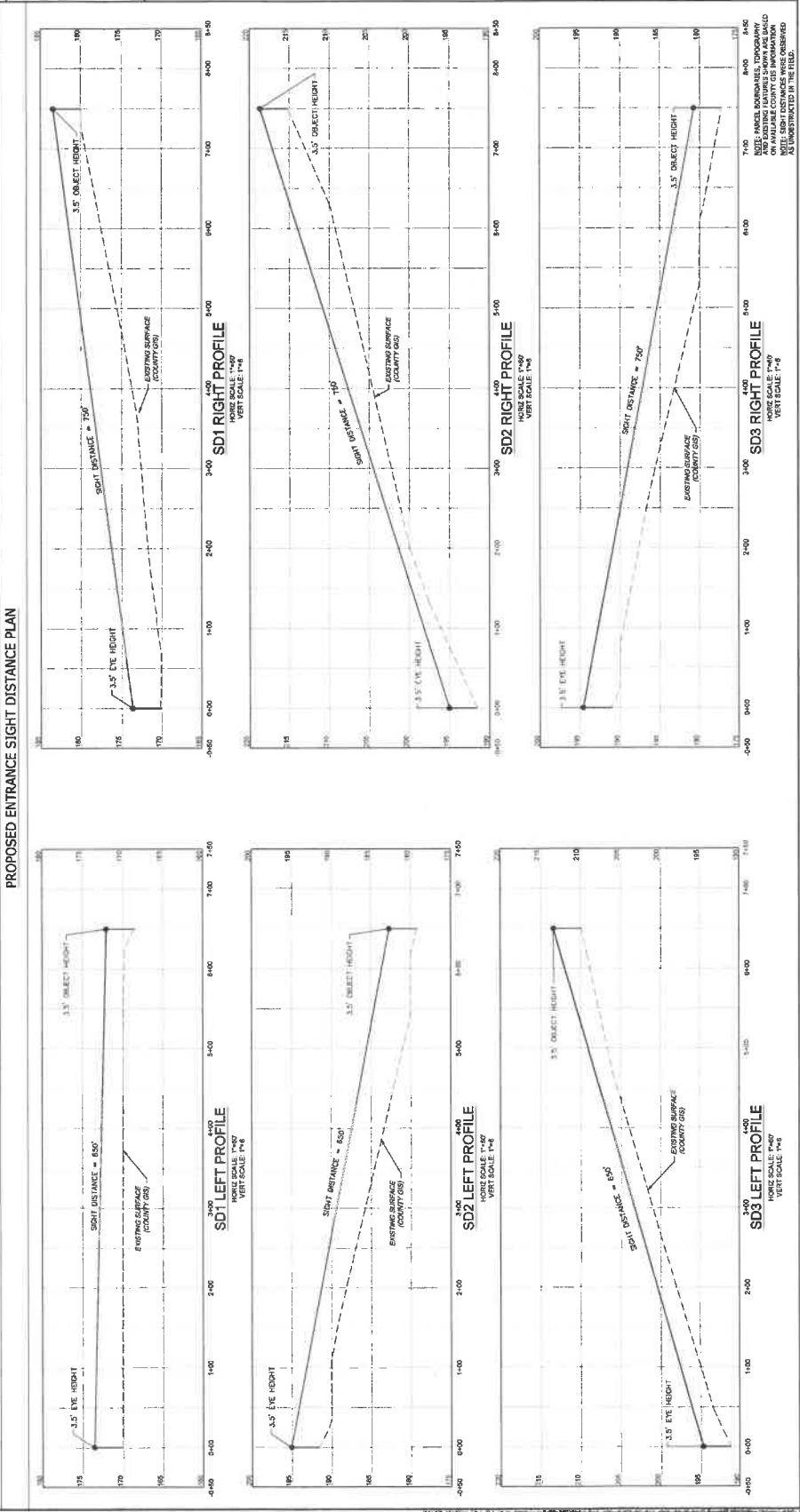
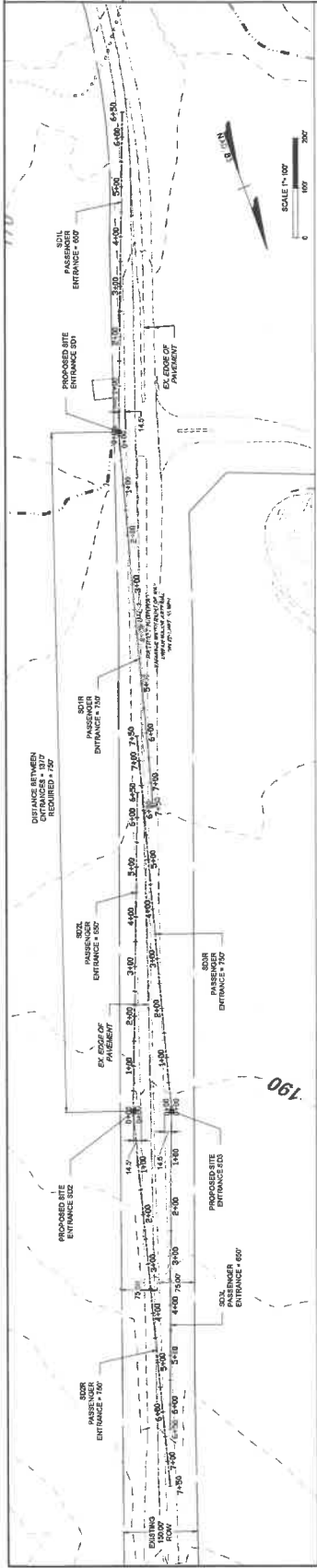
THE VIRGINIA SWIFT RELOCATION METHOD (SRM) IS A BEST MANAGEMENT PRACTICE (BMP) LOCATED ON THIS SHEET. THE CALCULATION PROVIDED ON THE SRM SPREADSHEET ASSUMES THAT ALL SOILS ON THE SITE ARE PHOENIX GROUP 'C'. FURTHER INVESTIGATION IS REQUIRED TO DETERMINE A MORE ACCURATE SOIL TYPE. THE SRM SPREADSHEET ASSUMES THAT ALL SOILS ON THE SITE ARE PHOENIX GROUP 'C'. FURTHER INVESTIGATION IS REQUIRED TO DETERMINE A MORE ACCURATE SOIL TYPE. THE SRM SPREADSHEET ASSUMES THAT ALL SOILS ON THE SITE ARE PHOENIX GROUP 'C'. FURTHER INVESTIGATION IS REQUIRED TO DETERMINE A MORE ACCURATE SOIL TYPE.

**POTENTIAL STORMWATER MANAGEMENT FACILITY LOCATIONS**



**NOTES:**  
 1. THE CALCULATIONS AND POTENTIAL SWAMP FACILITY LOCATIONS SHOWN ON THIS SHEET ARE APPROXIMATE IN NATURE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONSULT WITH THE ENGINEERING DESIGNER AND DESIGNER TO VERIFY THE ACCURACY OF THE CALCULATIONS AND FACILITY LOCATIONS.

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Ni Village  
Case R20-0010  
Proffers

EXHIBIT B  
DESIGN GUIDELINES  
(SEE ATTACHED)



# Ni Village

Design Guidelines

November 2022  
**Spotsylvania County, Virginia**

Land Developer:



Landscape Architects/Planners:

CITE DESIGN

Civil Engineers:



Attorneys:



Traffic Engineers:



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**Building Types**  
Commercial/office (I-1)



J. Barber Moving & Storage Co. building (existing)

**Architectural Requirements:**

Buildings shall have a minimum of 2 of the following elements:

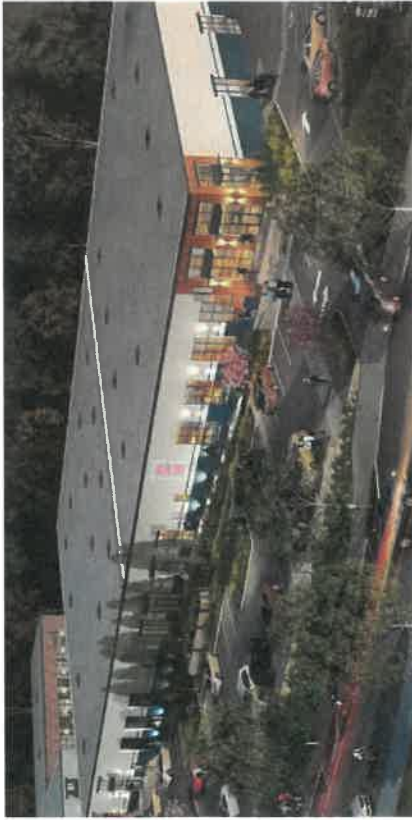
- Enhanced architecture at the main building entrance (storefront windows, awning, bump-out in facade, etc.)
- Outdoor seating area
- Enhanced architecture (e.g. faux windows) on street-facing facade when within 20' of street



Example elevations of possible development (shown for example only, elevations shall be submitted and approved at site plan review)

**Building Types**

Warehouse/storage (I-1)



**Architectural Requirements:**

Buildings shall have a minimum of 2 of the following elements:

- Enhanced architecture at the main building entrance (storefront windows, awning, bump-out in facade, etc.)
- Outdoor seating area for employees
- Enhanced architecture (e.g. faux windows) on street-facing facade when within 20' of street



Example elevations of possible development (shown for example only, elevations shall be submitted and approved at site plan review)



**Building Types**  
Industrial/Flex (I-1)



**Architectural Requirements:**

Buildings shall have a minimum of 2 of the following elements:

- Enhanced architecture at the building entrance (storefront windows, awning, bump-out in facade, etc.)
- Outdoor seating area for employees
- Enhanced architecture (e.g. faux windows) on street-facing facade when within 20' of street



Example elevations of possible development (shown for example only, elevations shall be submitted and approved at site plan review)

**Building Types**  
 General Building (MU)



**Architectural Requirements:**

All HCOD applicable buildings will be subject to all applicable HCOD design standards.

Buildings shall have a minimum of 2 of the following elements:

- Enhanced architecture at the building entrance (storefront windows, awning, bump-out in facade, etc.)
- Outdoor seating area for customers
- A portion of primary facades shall be masonry/premium veneer (stone, brick, cast stone, wood, HardiePlank, etc.)



Example elevations of possible development (where in HCOD, shall comply with requirements) (shown for example only, elevations shall be submitted and approved at site plan review)

**Building Types**  
Apartment Building (MU)



**Architectural Requirements:**

- All buildings shall incorporate:
- A portion of total facade area shall be masonry or premium veneer (stone, brick, cast stone, wood, HardiePlank, etc.)
  - A minimum of 2 of the following elements: balconies, enclosed ground-floor patios, gabled roofs, covered balconies, articulated facades, dormer windows, etc.
  - Minimum 80% of units shall have private balconies or porches



Example elevations of possible development (shown for example only, elevations shall be submitted and approved at site plan review)

**Building Types**

Townhouse Building (MU)



**Architectural Requirements:**

All buildings shall incorporate:

- A portion of front facades shall be masonry or premium veneer (stone, brick, cast stone, wood, HardiePlank, etc.)
- A minimum of 2 of the following elements: front porch, covered stoop, recessed entry, decorative trusses, rear seating area, shared front porch, articulated front roofline.



Example elevations of possible development (shown for example only, elevations shall be submitted and approved at site plan review)

**Building Types**  
 Detached House (MU)



**Architectural Requirements:**

- All buildings shall incorporate:
- A portion of front facades shall be masonry or premium veneer (stone, brick, cast stone, wood, HardiePlank, etc.)
  - A minimum of 2 of the following elements: front porch, covered stoop, recessed entry, decorative trusses, bump-out window, articulated roofline, rear seating area, shared front porch, eyebrow roof, faux windows.



Example elevations of possible development (shown for example only, elevations shall be submitted and approved at site plan review)

**Building Types**

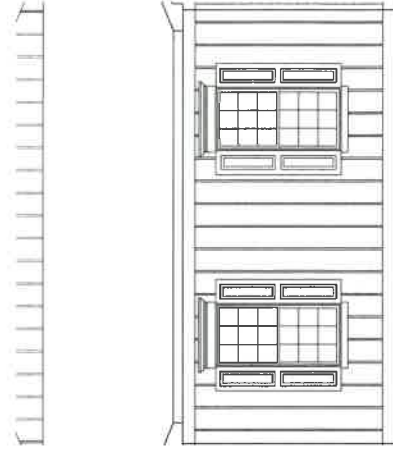
Attached House (MU)



**Architectural Requirements:**

All buildings shall incorporate:

- A portion of front facades shall be masonry or premium veneer (stone, brick, cast stone, wood, HardiePlank, etc.)
- A minimum of 2 of the following elements: covered stoop, covered porch, recessed entry, decorative trusses, articulated roofline, rear seating area, faux windows.



Example elevations of possible development (shown for example only, elevations shall be submitted and approved at site plan review)

**Building Types**

Mixed Use Building (MU)



**Architectural Requirements:**

All HCOD applicable buildings will be subject to all applicable HCOD design standards.

Buildings shall have a minimum of 2 of the following elements:

- Enhanced architecture at the building entrance (storefront windows, awning, bump-out in facade, articulated parapet, etc.)
- Outdoor seating area for customers
- A portion of primary facades shall be masonry/premium veneer (stone, brick, cast stone, wood, HardiePlank, etc.)



Example elevations of possible development (where in HCOD, shall comply with requirements) (shown for example only, elevations shall be submitted and approved at site plan review)

Ni Village  
Case R20-0010  
Proffers

EXHIBIT C  
TRAFFIC IMPACT ANALYSIS  
(SEE ATTACHED)



**See full copy of Traffic Impact Analysis dated October 2021  
on file with rezoning application R20-0010**

**NI Village  
Spotsylvania County, VA**

**ITE Trip Generation – Typical Weekday – 10<sup>th</sup> Edition**

Land Use (ITE Land Use Code)	Size	Average Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
<b>East Land Bay</b>							
Single-Family Detached Housing (210)	200 lots	955	955	36	104	120	71
Multifamily Housing (Low-Rise) (220)	250 units	839	839	24	76	80	48
<b>East Land Bay Subtotal</b>		<b>1,794</b>	<b>1,794</b>	<b>60</b>	<b>180</b>	<b>200</b>	<b>119</b>
<b>West Land Bay</b>							
Data Center (160)	1,000,000 s.f.	495	495	68	56	31	73
Multifamily Housing (Low-Rise) (220)	458 units	1,711	1,711	48	163	161	95
General Office Space (710)	125,000 s.f.	659	659	125	20	23	121
General Retail Space (820)	50,000 s.f.	944	944	29	18	91	100
<b>West Land Bay Subtotal</b>		<b>3,809</b>	<b>3,809</b>	<b>270</b>	<b>257</b>	<b>306</b>	<b>389</b>
<b>NI Village Total</b>		<b>5,603</b>	<b>5,603</b>	<b>330</b>	<b>437</b>	<b>506</b>	<b>508</b>
November 2010 TIA – Table 5.2		9,541	9,541	1,167	516	757	1,312
Percentage Decrease in Trips		-41%		-54%		-51%	

June 14, 2022

**NI Village – East Land Bay  
 Spotsylvania County, VA**

**ITE Trip Generation – Typical Weekday – 10<sup>th</sup> Edition**

Land Use (ITE Land Use Code)	Size	Average Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
<b>October 5 TIA</b>							
General Light Industrial (110)	220,000 s.f.	546	546	136	18	18	121
High-Cube Transload and Short-Term Storage Warehouse (154)	700,000 s.f.	490	490	43	13	20	50
Multifamily Housing (Low-Rise) (220)	492 units	1,840	1,840	52	174	174	102
<b>Total</b>		<b>2,876</b>	<b>2,876</b>	<b>231</b>	<b>205</b>	<b>212</b>	<b>273</b>
<b>Current Plan</b>							
Single-Family Detached Housing (210)	200 lots	955	955	36	104	120	71
Multifamily Housing (Low-Rise) (220)	250 units	839	839	24	76	80	48
<b>Total</b>		<b>1,794</b>	<b>1,794</b>	<b>60</b>	<b>180</b>	<b>200</b>	<b>119</b>
<b>Percentage Decrease in Trips</b>		<b>-37%</b>		<b>-45%</b>		<b>-34%</b>	

June 9, 2022

EXHIBIT D  
ALTERNATIVE DEVELOPMENT STANDARDS

ZONING ORDINANCE SECTION	ZONING ORDINANCE STANDARD	REQUESTED ALTERNATIVE DEVELOPMENT STANDARD
Section 23-6.28.4 (Development Standards) (e) Detached house (1) Lot standards, Lot Dimensions (A) Lot Area (min/max)	3,000 square feet minimum 21,780 square feet maximum	2,500 square feet minimum No requested change to maximum
Section 23-6.28.4 (Development Standards) (e) Detached house (1) Lot standards, Principal Building Setback (C) Primary Street (min)	10 feet minimum	5 feet minimum
Section 23-6.28.4 (Development Standards) (e) Detached house (2) Building Placement, Build-to Zone (BTZ) (A) Primary Street (min/max)	5 feet minimum 45 feet maximum	No requested change to minimum 60 feet maximum
Section 23-6.28.4 (Development Standards) (e) Detached house (2) Building Placement, Build-to Zone (BTZ) (B) % of Building in Primary Street BTZ (min)	70 percent minimum	50 percent minimum
Section 23-6.28.4 (Development Standards) (f) Attached house (1) Lot standards, Lot Dimensions (A) Lot Area (min/max)	7,500 square feet minimum 15,000 square feet maximum	5,000 square feet minimum No requested change to maximum
Section 23-6.28.4 (Development Standards) (f) Attached house (1) Lot standards, Principal Building Setback (B) Lot Width (min/max)	60 feet minimum 80 feet maximum	40 feet minimum No requested change to maximum
Section 23-6.28.4 (Development Standards) (f) Attached house (2) Building Placement, Build-to Zone (BTZ) (A) Primary Street (min/max)	10 feet minimum 45 feet maximum	5 feet minimum No requested change to maximum

Ni Village  
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Section 23-6.28.4 (Development Standards) (f) Attached house (2) Building Placement, Build-to Zone (BTZ) (B) % of Building in Primary Street BTZ (n	70 percent minimum	50 percent minimum
Section 23-6.28.4 (Development Standards) (g) Townhouse building (1) Lot standards, Building Setbacks (E) Primary Street (min)	5 feet minimum	No minimum building setback, primary street setbacks apply.
Section 23-6.28.4 (Development Standards) (g) Townhouse building (2) Building Placement, Build-to Zone (BTZ) (A) Primary Street (min/max)	5 feet minimum 25 feet maximum	No requested change to minimum 45 feet maximum
Section 23-6.28.4 (Development Standards) (g) Townhouse building (2) Building Placement, Build-to Zone (BTZ) (B) % of Building in Primary Street BTZ (n	70 percent minimum	50 percent minimum