

GENERAL NOTES

1. THIS SURVEY WAS MADE WITH THE BENEFIT OF TITLE COMMITMENTS FROM CHICAGO TITLE INSURANCE COMPANY. COMMITMENT FILE NO. SHTC20-183 (GPIN 818-705-2337) DATED FEBRUARY 28TH, 2020; COMMITMENT FILE NO. SHTC20-205 (GPIN 818-705-7634), DATED FEBRUARY 26TH, 2020; AND COMMITMENT FILE NO. SHTC20-184 (GPIN 818-704-6789), DATED FEBRUARY 24TH, 2020.
2. THE PROPERTIES SHOWN HEREON ARE LOCATED WITHIN FLOOD ZONE "X" AS DETERMINED BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 51087C0230C, WITH EFFECTIVE DATE OF DECEMBER 18TH, 2007.
3. ONLY SURFACE INDICATIONS OF UNDER GROUND UTILITIES WERE LOCATED ON THIS SURVEY.
4. CURRENT ZONING AS SHOWN HEREON
5. THESE PROPERTIES HAVE DIRECT PEDESTRIAN & VEHICULAR ACCESS TO SPROUSE DRIVE.
6. SEVEN HILLS BOULEVARD OR GORMAN ROAD, PUBLICLY DEDICATED STREETS.
7. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
8. SURVEYOR RECEIVED NO INFORMATION PERTAINING TO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
9. THIS SURVEY CORRECTLY SHOWS THE LOCATION OF ALL STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE PROPERTY.
10. EXCEPT AS SHOWN, ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD. THAT EXCEPT AS SHOWN, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS OF WAY ACROSS SAID PROPERTIES. THAT THE PROPERTIES SHOWN HEREON ARE THE SAME AS THE PROPERTIES DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY. COMMITMENT FILE NO. SHTC20-183 (GPIN 818-705-2337) DATED FEBRUARY 28TH, 2020; COMMITMENT FILE NO. SHTC20-205 (GPIN 818-705-7634), DATED FEBRUARY 26TH, 2020; AND COMMITMENT FILE NO. SHTC20-184 (GPIN 818-704-6789), DATED FEBRUARY 24TH, 2020.
11. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES. STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS.
12. THE PROPERTY COMPRISES OF THREE SEPARATE TAX LOTS.
13. NO EXISTING IMPROVEMENTS ON SUBJECT PARCEL VIOLATE APPLICABLE FRONT, SIDE OR REAR SET BACK YARD REQUIREMENTS.

SETBACK, HEIGHT, AND BULK STANDARDS TAKEN FROM CHAPTER 24 OF THE HENRICO COUNTY MUNICIPAL CODE (UPDATED 2/26/20)

ZONING: M-1
(SUBURBAN RESIDENTIAL DISTRICT)
FRONT YARD - 25'
REAR YARD - 30' (h)(r)(s)
SIDE YARD - NONE
HEIGHT - 45'

THERE ARE NO FLOOR SPACE OR DENSITY RESTRICTIONS

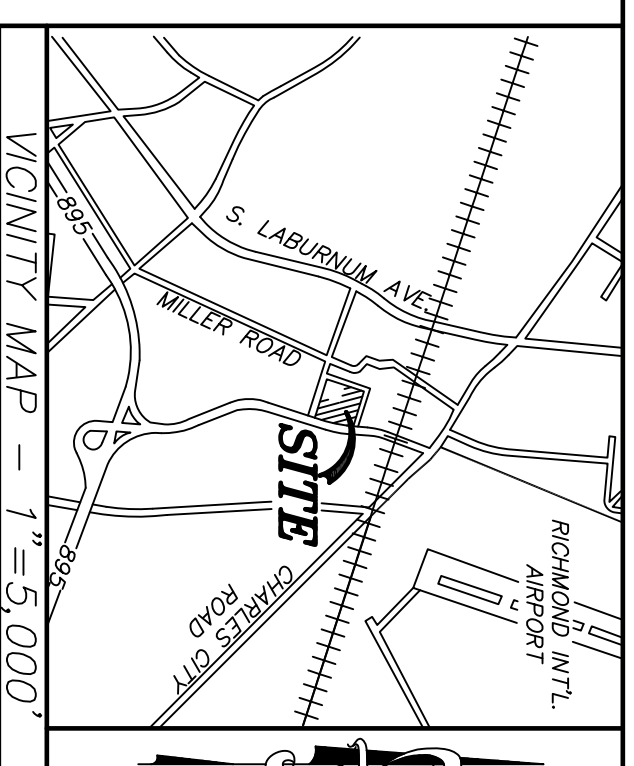
** ALL SETBACKS, HEIGHT RESTRICTIONS, PARKING REQUIREMENTS, AND BULK STANDARDS SHOWN OR NOTED ON THIS PLAT ARE OPEN TO INTERPRETATION BY THE COUNTY OF HENRICO

SETBACK, HEIGHT, AND BULK STANDARDS TAKEN FROM CHAPTER 24 OF THE HENRICO COUNTY MUNICIPAL CODE (UPDATED 2/26/20)

ZONING: M-2
(SUBURBAN RESIDENTIAL DISTRICT)
FRONT YARD - 25'
REAR YARD - 30' (h)(r)(s)
SIDE YARD - NONE
HEIGHT - 50'

THERE ARE NO FLOOR SPACE OR DENSITY RESTRICTIONS

** ALL SETBACKS, HEIGHT RESTRICTIONS, PARKING REQUIREMENTS, AND BULK STANDARDS SHOWN OR NOTED ON THIS PLAT ARE OPEN TO INTERPRETATION BY THE COUNTY OF HENRICO



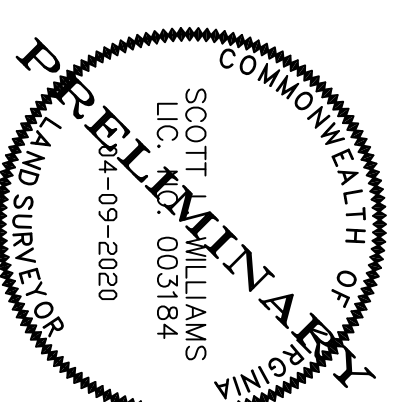
POB	POINT OF BEGINNING
DI	DROP INLET
⊕	DRAINAGE MANHOLE
⊞	ELECTRIC TRANSFORMER
⊞	GAS VALVE
UV	UNDERGROUND VAULT
⊞	SANITARY SEWER MANHOLE
⊞	ELECTRIC METER
ROD/S	ROD SET
ROD/F	ROD FOUND
-	SIGN
—	OVERHEAD UTILITY LINES
☐	TELEPHONE PEDESTAL
⊞	FIRE HYDRANT
⊞	WATER VALVE
WV	WATER VAULT
⊞	NUMBER OF PARKING SPACES

CARTER LUMBER OF VIRGINIA, INC., A VIRGINIA CORPORATION, ITS AFFILIATES, SUCCESSORS, AND ASSIGNS; CHICAGO TITLE INSURANCE COMPANY, ITS AFFILIATES, SUCCESSORS, AND ASSIGNS;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 8TH, 2020. SAID DESCRIBED PROPERTY IS LOCATED WITHIN FLOOD ZONE "X", AN AREA HAVING A ZONE DESIGNATION OF "X" HAVE 0.2% ANNUAL CHANCE OF FLOOD AS DESCRIBED BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 51087C0230C, WITH EFFECTIVE DATE OF DECEMBER 18TH, 2007.

DATE OF PLAT: APRIL 10TH, 2020

SCOTT L. WILLIAMS
LICENSE NO. 003184



ALTA/NSPS LAND TITLE SURVEY
OF THREE PARCELS OF LAND
CONTAINING 17.695 ACRES OF
LAND AND LOCATED ON THE
SOUTH SIDE OF SPROUSE DRIVE
AND NORTH OF SEVEN HILLS
BOULEVARD

VIRGINIA MAGISTERIAL DISTRICT
HENRICO COUNTY, VIRGINIA

SCALE: 1" = N/A APRIL 9TH, 2020

Townes
SITE ENGINEERING

1 PARK WEST CIRCLE, SUITE 108
MIDLOTHIAN, VIRGINIA 23114
PHONE: (804) 748-9011 FAX: (804) 748-2590

7) TERMS, PROVISIONS COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS LIENS FOR ASSESSMENTS, DEVELOPER RIGHTS, OPTIONS, RIGHTS OF FIRST REFUSAL AND RESERVATIONS AND OTHER MATTERS, IF ANY, AND ANY AMENDMENTS THERETO, APPEARING OF RECORD IN DECLARATION RECORDED IN DEED BOOK 1719, PAGE 450; IN THE RELATED BYLAWS; IN ANY INSTRUMENT CREATING THE ESTATE OR INTEREST INSURED BY THIS POLICY; AND IN ANY OTHER ALLED INSTRUMENT REFERRED TO IN ANY OF THE INSTRUMENTS AFORESAID, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.

NOT A SURVEY MATTER

8) TERMS, PROVISIONS COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, LIENS FOR ASSESSMENTS, DEVELOPER RIGHTS, OPTIONS, RIGHTS OF FIRST REFUSAL AND RESERVATIONS AND OTHER MATTERS, IF ANY, AND ANY AMENDMENTS THERETO, APPEARING OF RECORD IN DEED OF ASSUMPTION RECORDED IN DEED BOOK 1983, PAGE 608 AND IN CORRECTION DEED OF ASSUMPTION RECORDED IN DEED BOOK 1989, PAGE 33; BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.

NOT A SURVEY MATTER

9) AGREEMENT WITH COUNTY OF HENRICO, VIRGINIA DATED SEPTEMBER 12, 1973, RECORDED OCTOBER 16, 1973 IN DEED BOOK 1577, PAGE 526, FOR ESTABLISHMENT OF A SEWER SYSTEM AND OPERATION THEREOF.

UNABLE TO DETERMINE EXACT LOCATION

10) AGREEMENT WITH COUNTY OF HENRICO, VIRGINIA DATED SEPTEMBER 12, 1973, RECORDED OCTOBER 16, 1973 IN DEED BOOK 1577, PAGE 534, FOR ESTABLISHMENT OF A WATER SYSTEM AND OPERATION THEREOF.

UNABLE TO DETERMINE EXACT LOCATION

11) AGREEMENT BY AND BETWEEN SEVEN HILLS INDUSTRIAL CENTER, INC. AND ELIZABETH K. AIGNER, WIDOW, DATED OCTOBER 23, 1974, RECORDED JULY 14, 1975 IN DEED BOOK 1646, PAGE 297 SETS FORTH CERTAIN COVENANTS AND CONDITIONS RELATIVE TO INSURED PREMISES AND ADJOINING LAND.

DOES NOT AFFECT SUBJECT

12) RESERVATION OF COMMON RAILROAD SPUR TRACK EASEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED APRIL, 1977, RECORDED MAY 3, 1977 IN DEED BOOK 1719, PAGE 458. *SEE AMENDED RESERVATION OF COMMON RAILROAD SPUR TRACK EASEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND RECORDED IN DEED BOOK 1803, PAGE 464.

SHOWN HEREON

13) EASEMENT GRANTED UNTO VIRGINIA ELECTRIC AND POWER COMPANY DATED APRIL 25, 1977, RECORDED MAY 3, 1977 IN DEED BOOK 1719, PAGE 464. GRANTS EASEMENT FOR A POLE LINE FOR TRANSMITTING AND DISTRIBUTING ELECTRIC POWER AND APPURTENANCES THERETO, AT 25' DESIGNATED AND UNDESIGNATED LOCATIONS, WITH RIGHTS OF INGRESS, EGRESS AND CLEARAGE. PLAT RECORDED THERewith SHOWS EASEMENT.

SHOWN HEREON

14) EASEMENT: GRANTED UNTO CHESAPEAKE AND POTOMAC TELEPHONE COMPANY DATED APRIL 3, 1978, RECORDED APRIL 11TH, 1978 IN DEED BOOK 1744, PAGE 141. GRANTS EASEMENT FOR A COMMUNICATION SYSTEM AND APPURTENANCES THERETO, AT 10' DESIGNATED AND UNDESIGNATED LOCATIONS, WITH RIGHTS OF INGRESS, EGRESS AND CLEARAGE. PLAT RECORDED IN PLAT BOOK 67, PAGE 55 SHOWS EASEMENT.

SHOWN HEREON

15) DECLARATION OF RAILROAD SIDING AGREEMENT AS COVENANTS RUNNING WITH THE LAND DATED APRIL 7, 1980, RECORDED APRIL 11, 1980 IN DEED BOOK 1803, PAGE 470.

RAILROAD AGREEMENT, SEE INSTRUMENT FOR PARTICULARS

16) PLAT MADE BY BODIE, MILLS, TAYLOR & PURYEAR, INC., DATED DECEMBER 7, 1973, ENTITLED "SEVEN HILLS INDUSTRIAL CENTER, SECTION A, VARINA DISTRICT, HENRICO COUNTY, VIRGINIA," RECORDED MAY 2, 1974 IN PLAT BOOK 57, PAGES 56, 57 AND 58, SHOWS THE FOLLOWING:

SHOWN HEREON

a) 10' DRAINAGE EASEMENT PARALLEL TO SPROUSE DRIVE.

17) PLAT MADE BY GRAHAM, HENDERSON & ASSOCIATES, DATED DECEMBER 17, 1985, ENTITLED PLAT OF 4.780 ACRES BEING THE NORTHWEST PART OF BLOCK B, SECTION A, EASTGATE INDUSTRIAL CENTER (FORMERLY SEVEN HILLS INDUSTRIAL CENTER) IN THE VARINA DISTRICT OF HENRICO COUNTY, VIRGINIA, RECORDED WITH DEED IN DEED BOOK 1989, PAGE 33 AT PAGE 68 SHOWS THE FOLLOWING:

SHOWN HEREON

a) EASEMENT FOR SPUR TRACK

ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH THE IMPROVEMENTS THEREON AND THE APPURTENANCES THERETO BELONGING, SITUATE IN VARINA MAGISTERIAL DISTRICT 1, HENRICO COUNTY, VIRGINIA, CONTAINING 4.780 ACRES, AS SHOWN ON PLAT OF SURVEY BY GRAHAM HENDERSON & ASSOCIATES, CONSULTING ENGINEERS, RICHMOND, VIRGINIA, DATED DECEMBER 17, 1985, ENTITLED, "PLAT OF 4.780 ACRES BEING THE NORTHWEST PART OF BLOCK B, SECTION A, EASTGATE INDUSTRIAL CENTER (FORMERLY SEVEN HILLS INDUSTRIAL CENTER) IN THE VARINA DISTRICT OF HENRICO COUNTY, VIRGINIA, A PRINT OF WHICH PLAT IS ATTACHED TO AND MADE A PART OF THAT CERTAIN DEED RECORDED IN THE CLERK'S OFFICE, CIRCUIT COURT, HENRICO COUNTY, VIRGINIA, IN DEED BOOK 1989, PAGE 33, AND TO WHICH PLAT REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION OF THE PROPERTY HEREBY CONVEYED.

METERS AND BOUNDS PER THIS SURVEY

COMMENCING AT A POINT, SAID POINT BEING AT THE INTERSECTION OF THE NORTHERN LINE OF SEVEN HILLS BOULEVARD AND THE EASTERN LINE OF GORMAN ROAD, THENCE ALONG THE EASTERN LINE OF GORMAN ROAD N 12°24'45" E 500 ± TO A SET IRON ROD; SAID ROD BEING THE POINT OF BEGINNING OF THE AFTER MENTIONED PARCEL, THENCE CONTINUING ALONG THE SAID RIGHT OF WAY OF GORMAN ROAD N 12°24'45" E A DISTANCE OF 460.00' TO A POINT; SAID POINT LYING 0.37' SOUTH FROM A FOUND IRON ROD; THENCE ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING AN ARC LENGTH OF 62.83', A RADIUS OF 40.00', A CHORD BEARING OF N 57°24'40" E, AND A CHORD LENGTH OF 56.57', TO A FOUND CONCRETE MONUMENT; SAID MONUMENT LYING ON THE SOUTHERN LINE OF SPROUSE DRIVE, THENCE ALONG THE SOUTHERN LINE OF SPROUSE DRIVE S 77°35'15" E A DISTANCE OF 377.00' TO A POINT; SAID POINT LYING 0.22' SOUTH OF A FOUND RAILROAD SPIKE; THENCE DEPARTING THE SAID RIGHT OF WAY AND ALONG A SET OF RAILROAD TRACKS S 12°24'45" W A DISTANCE OF 500.00' TO A FOUND IRON ROD; THENCE DEPARTING THE SAID TRACKS N 77°35'15" W A DISTANCE OF 417.00' TO A SET IRON ROD; SAID ROD BEING THE POINT AND PLACE OF BEGINNING OF THE SAID PARCEL AND CONTAINING AN AREA OF 208,155.86 SQUARE FEET OR 4.779 ACRES OF LAND.

METERS AND BOUNDS PER CHICAGO TITLE INSURANCE COMMITMENT #SHTC20-183
CPIN 818-706-2337 (2801 SPROUSE DRIVE)



ALTA/NSPS LAND TITLE SURVEY
OF THREE PARCELS OF LAND
CONTAINING 17.695 ACRES OF
LAND AND LOCATED ON THE
SOUTH SIDE OF SPROUSE DRIVE
AND NORTH OF SEVEN HILLS
BOULEVARD

VARINA MAGISTERIAL DISTRICT
HENRICO COUNTY, VIRGINIA
APRIL 9TH, 2020

Townes
SITE ENGINEERING

1 PARK WEST CIRCLE, SUITE 108
MIDLOTHIAN, VIRGINIA 23114
PHONE: (804) 748-9011 FAX: (804) 748-2590

⑦ TERMS, PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, LIENS FOR ASSESSMENTS, DEVELOPER RIGHTS, OPTIONS, RIGHTS OF FIRST REFUSAL AND RESERVATIONS AND OTHER MATTERS, IF ANY, AND ANY AMENDMENTS THERETO, APPEARING OF RECORD IN DECLARATION RECORDED IN DEED BOOK 1719, PAGE 450; BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.

NOT A SURVEY MATTER

⑧ SEWER AGREEMENT WITH COUNTY OF HENRICO, VIRGINIA DATED SEPTEMBER 12, 1973, RECORDED OCTOBER 16, 1973 IN DEED BOOK 1577, PAGE 526.

UNABLE TO DETERMINE EXACT LOCATION

⑨ WATER AGREEMENT WITH COUNTY OF HENRICO, VIRGINIA DATED SEPTEMBER 12, 1973, RECORDED OCTOBER 16, 1973, IN DEED BOOK 1577, PAGE 534 FOR ESTABLISHMENT OF A WATER SYSTEM AND OPERATION THEREOF.

UNABLE TO DETERMINE EXACT LOCATION

⑩ RESERVATION OF COMMON RAILROAD SPUR TRACK EASEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND APPEARING OF RECORD IN DEED BOOK 1719, PAGE 458, AS AMENDED RECORDED IN DEED BOOK 1803, PAGE 470 BY DECLARATION.

SHOWN HEREON

⑪ EASEMENT GRANTED UNTO VIRGINIA ELECTRIC AND POWER COMPANY DATED JULY 12, AND RECORDED OCTOBER 31, 1977 IN DEED BOOK 1732, PAGE 2083. GRANTS EASEMENT FOR ONE OR MORE LINES OF UNDERGROUND CONDUITS AND CABLES FOR TRANSMITTING AND DISTRIBUTING ELECTRIC POWER AND APPURTENANCES THERETO, AT 10' DESIGNATED AND UNDESIGNATED LOCATIONS, WITH RIGHTS OF INGRESS, EGRESS AND CLEARANCE. PLAT RECORDED THERE WITH SHOWS EASEMENT.

APPROXIMATE LOCATION SHOWN HEREON

⑫ EASEMENT GRANTED UNTO VIRGINIA ELECTRIC AND POWER COMPANY DATED JANUARY 13, 1998, RECORDED MARCH 12, 1998 IN DEED BOOK 2789, PAGE 192. GRANTS EASEMENT FOR TRANSMITTING AND DISTRIBUTING ELECTRIC POWER BY ONE OR MORE CIRCUITS AND APPURTENANCES THERETO, AT 20' DESIGNATED AND UNDESIGNATED LOCATIONS, WITH RIGHTS OF INGRESS, EGRESS AND CLEARANCE. PLAT RECORDED THEREWITH SHOWS EASEMENT.

APPROXIMATE LOCATION SHOWN HEREON

⑬ EASEMENT GRANTED UNTO VIRGINIA ELECTRIC AND POWER COMPANY DATED JANUARY 13, 1998, RECORDED MARCH 12, 1998 IN DEED BOOK 2789, PAGE 199. GRANTS EASEMENT FOR TRANSMITTING AND DISTRIBUTING ELECTRIC POWER AND APPURTENANCES THERETO, AT 20' DESIGNATED AND UNDESIGNATED LOCATIONS, WITH RIGHTS OF INGRESS, EGRESS AND CLEARANCE. PLAT RECORDED THEREWITH SHOWS EASEMENT.

APPROXIMATE LOCATION SHOWN HEREON

⑭ EASEMENT GRANTED UNTO VIRGINIA ELECTRIC AND POWER COMPANY DATED JUNE 10, 1998, RECORDED SEPTEMBER 4, 1998 IN DEED BOOK 2841, PAGE 1093. GRANTS EASEMENT FOR TRANSMITTING AND DISTRIBUTING ELECTRIC POWER AND APPURTENANCES THERETO, AT 15' DESIGNATED AND UNDESIGNATED LOCATIONS, WITH RIGHTS OF INGRESS, EGRESS AND CLEARANCE. PLAT RECORDED THEREWITH SHOWS EASEMENT.

APPROXIMATE LOCATION SHOWN HEREON

⑮ PLAT MADE BY EDWARD B. FISHER & ASSOCIATES, DATED DECEMBER 9, 1976, ENTITLED PLAT OF 4.569 ACRES OF BLOCK 'B', SEVEN HILLS INDUSTRIAL CENTER, SECTION 'A', IN THE VARINA DISTRICT OF HENRICO COUNTY, VIRGINIA, RECORDED IN DEED BOOK 1719, PAGE 952, AS SHOWING A 10' DRAINAGE EASEMENT ALONG SPROUSE DRIVE AND A 25' EASEMENT FOR RAILROAD ALONG WESTERN LOT LINE

SHOWN HEREON

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND, WITH IMPROVEMENTS THEREON AND APPURTENANCES THERETO BELONGING, LYING AND BEING IN HENRICO COUNTY, VIRGINIA, CONTAINING 4.569 ACRES, MORE OR LESS, LYING AND BEING IN THE EASTGATE INDUSTRIAL CENTER (FORMERLY SEVEN HILLS INDUSTRIAL CENTER), BEING A PORTION OF BLOCK B, SECTION A, SEVEN HILLS INDUSTRIAL CENTER, AS SHOWN ON THAT CERTAIN SUBDIVISION PLAT OF SEVEN HILLS INDUSTRIAL CENTER, RECORDED IN PLAT BOOK 57, PAGES 56-58, IN THE CLERK'S OFFICE, CIRCUIT COURT, HENRICO COUNTY, VIRGINIA, AND BEING MORE PARTICULARLY SHOWN ON A CERTAIN PLAT ENTITLED PLAT OF 4.569 ACRES OF BLOCK "BR SEVEN HILL INDUSTRIAL CENTER, SECTION RA", IN THE VARINA DISTRICT OF HENRICO COUNTY, VIRGINIA, MADE BY EDWARD D. FISHER & ASSOCIATES, CERTIFIED LAND SURVEYORS AND CIVIL ENGINEERS, RICHMOND, VIRGINIA, DATED DECEMBER 15, 1976, AS REVISED APRIL 14, 1977, RECORDED WITH A DEED IN DEED BOOK 1719, PAGE 952, AND BEING MORE PARTICULARLY DESCRIBED WITH REFERENCE TO SAID PLAT AS FOLLOWS:

COMMENCING AT A STONE ON THE WEST LINE OF SETTLER ROAD THENCE S19°08'02"W 280.00 FEET TO A ROD ON THE AFOREMENTIONED WEST LINE OF SETTLER ROAD: THENCE N70°51'58"W, 623.00 FEET TO A ROD; THENCE N19°08'02"E 320.00 FEET TO A ROD ON THE SOUTH LINE OF SPROUSE DRIVE; THENCE ALONG THE AFOREMENTIONED SOUTH LINE OF SPROUSE DRIVE 570.51' 58"E 583.00 FEET TO A STONE AT THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 40.00 FEET, A DELTA OF 90°00'00", A TANGENT OF 40.00 FEET, THENCE ALONG SAID CURVE A LENGTH OF 62.83 FEET, TO THE POINT AND PLACE OF BEGINNING.

LESS AND EXCEPT THAT PORTION LYING WITHIN S. AIRPORT DRIVE F/K/A SETTLER ROAD AND SHOWN ON HIGHWAY PLAT BOOK 14, PAGE 94.

METES AND BOUNDS PER THIS SURVEY

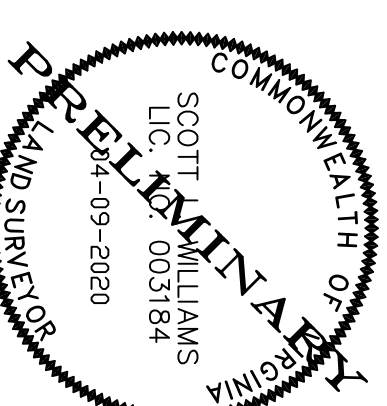
BEGINNING AT A FOUND VDOT ROD/CAP (RM2) RIGHT OF WAY MARKER AT THE INTERSECTION OF AIRPORT ROAD AND THE SOUTHERN RIGHT OF WAY LINE OF SPROUSE DRIVE, THENCE S 40°12'02" E A DISTANCE OF 20.94'; TO A POINT, SAID POINT LYING 0.23' EAST OF A FOUND VDOT ROD/CAP (RM2) RIGHT OF WAY MARKER THENCE CONTINUING ALONG THE WESTERN RIGHT OF WAY LINE OF AIRPORT DRIVE S 03°09'30" E A DISTANCE OF 64.93' TO A SET IRON ROD THENCE ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING AN ARC LENGTH OF 220.72', A RADIUS OF 1870.08', A CHORD BEARING OF S 00°13'23" W, AND A CHORD LENGTH OF 220.60', TO A FOUND VDOT ROD/CAP (RM2) RIGHT OF WAY MARKER: THENCE S 29°16'55" W A DISTANCE OF 30.44' TO A FOUND VDOT ROD/CAP (RM2) RIGHT OF WAY MARKER; THENCE DEPARTING THE SAID RIGHT OF WAY N 77°35'06" W A DISTANCE OF 538.72' TO A SET IRON ROD; THENCE N 12°24'45" E A DISTANCE OF 320.00' TO A POINT; SAID POINT LYING 0.22" SOUTH A FOUND RAILROAD SPIKE LOCATED ON THE SOUTHERN LINE OF SPROUSE DRIVE; THENCE ALONG THE SOUTHERN LINE OF SPROUSE DRIVE S 77°35'15" E A DISTANCE OF 466.91' TO A FOUND VDOT ROD/CAP (RM2) RIGHT OF WAY MARKER; SAID MARKER BEING THE POINT AND PLACE OF BEGINNING OF THE SAID PARCEL AND CONTAINING AN AREA OF 166,173.51 SQUARE FEET OR 3.815 ACRES OF LAND.

**ALTA/NSPS LAND TITLE SURVEY
OF THREE PARCELS OF LAND
CONTAINING 17.695 ACRES OF
LAND AND LOCATED ON THE
SOUTH SIDE OF SPROUSE DRIVE
AND NORTH OF SEVEN HILLS
BOULEVARD**

VARINA MAGISTERIAL DISTRICT
HENRICO COUNTY, VIRGINIA
APRIL 9TH, 2020

Townes
SITE ENGINEERING

1 PARK WEST CIRCLE, SUITE 108
MIDLOTHIAN, VIRGINIA 23114
PHONE: (804) 748-9011 FAX: (804) 748-2590



- 7) TERMS, PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, LIENS FOR ASSESSMENTS, DEVELOPER RIGHTS, OPTIONS, RIGHTS OF FIRST REFUSAL AND RESERVATIONS AND OTHER MATTERS, IF ANY, AND ANY AMENDMENTS THERETO, APPEARING OF RECORD IN DECLARATION RECORDED IN DEED BOOK 1719, PAGE 450; BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW. NOT A SURVEY MATTER
- 8) SEWER AGREEMENT WITH COUNTY OF HENRICO, VIRGINIA DATED SEPTEMBER 12, 1973, RECORDED OCTOBER 16, 1973 IN DEED BOOK 1577, PAGE 526. UNABLE TO DETERMINE LOCATION
- 9) WATER AGREEMENT WITH COUNTY OF HENRICO, VIRGINIA DATED SEPTEMBER 12, 1973, RECORDED OCTOBER 16, 1973, IN DEED BOOK 1577, PAGE 534. UNABLE TO DETERMINE LOCATION
- 10) RESERVATION OF COMMON RAILROAD SPUR TRACK EASEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND APPEARING OF RECORD IN DEED BOOK 1719, PAGE 458, AS AMENDED RECORDED IN DEED BOOK 1803, PAGE 464 BY DECLARATION. DOES NOT AFFECT SUBJECT
- 11) EASEMENT GRANTED UNTO THE CHESAPEAKE AND POTOMAC TELEPHONE COMPANY OF VIRGINIA DATED APRIL 3, 1978, RECORDED APRIL 18, 1978 IN DEED BOOK 1744, PAGE 141. GRANTS EASEMENT FOR A COMMUNICATION SYSTEM AND IMPROVEMENTS THERETO, AT 10' DESIGNATED AND UNDESIGNATED LOCATIONS, WITH RIGHTS OF INGRESS, EGRESS AND CLEARAGE UNABLE TO DETERMINE LOCATION
- 12) DECLARATION OF RAILROAD SIDING AGREEMENT AS COVENANTS RUNNING WITH THE LAND DATED APRIL 11TH, 1980, RECORDED APRIL 11, 1980 IN DEED BOOK 1803, PAGE 470. RAILROAD AGREEMENT, SEE INSTRUMENT FOR PARTICULARS
- 13) PLAT MADE BY BODIE MILLS, TAYLOR & PURYEAR, INC., DATED DECEMBER 7, 1973, ENTITLED "SEVEN HILLS INDUSTRIAL CENTER SECTION A, VARINA DISTRICT, HENRICO COUNTY, VIRGINIA, RECORDED IN PLAT BOOK 57, PAGES 56-58 SHOWS THE FOLLOWING:
a) 10' DRAINAGE EASEMENT DOES NOT AFFECT SUBJECT

**METES AND BOUNDS PER CHICAGO TITLE INSURANCE COMMITMENT #SHIC20-184
GPN 818-704-6789 (#2890 SEVEN HILLS BOULEVARD)**

THAT PARCEL OF LAND CONTAINING 9.718 ACRES WITH ALL APPURTENANCES THERETO BELONGING, SITUATE IN VARINA DISTRICT, HENRICO COUNTY, VIRGINIA, BEING PART OF BLOCK "B", SECTION "A" OF EASTGATE INDUSTRIAL CENTER, SHOWN ON A PLAT MADE BY EDWARD D. FISHER & ASSOCIATES, CERTIFIED LAND SURVEYORS, DATED AUGUST 24, 1979, REVISED APRIL 3, 1980, A COPY OF WHICH IS ATTACHED THERETO AND RECORDED THERewith THAT CERTAIN DEED OF TRUST RECORDED IN DEED BOOK 1805, PAGE 448, WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERN LINE OF SEVEN HILLS BOULEVARD WHICH POINT IS DISTANT N70°51'58"W 40 FEET FROM THE INTERSECTION OF THE NORTHERN LINE OF SEVEN HILLS BOULEVARD EXTENDED AND THE WESTERN LINE OF SETTLER ROAD EXTENDED; THENCE FROM SUCH POINT OF BEGINNING N70°51'58"W ALONG THE NORTHERN LINE OF SEVEN HILLS BOULEVARD 583 FEET TO A ROD; THENCE N19°08'02"E 680 FEET TO A ROD; THENCE S70°51'58"E 623 FEET TO A ROD ON THE WESTERN LINE OF SETTLER ROAD; THENCE S19°08'02"W ALONG THE WESTERN LINE OF SETTLER ROAD 640 FEET TO A POINT; THENCE ON A CURVE TO THE RIGHT WHICH CURVE HAS A RADIUS OF 40 FEET A DISTANCE OF 62.83 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THAT PARCEL CONTAINING 0.617 ACRES CONVEYED TO THE COMMONWEALTH OF VIRGINIA, BY DEED DATED NOVEMBER 17, 2006, RECORDED NOVEMBER 27, 2006 IN DEED BOOK 4242, PAGE 825

METES AND BOUNDS PER THIS SURVEY

BEGINNING AT A FOUND VDOT ROD/CAP (RM2) RIGHT OF WAY MARKER AT THE INTERSECTION OF AIRPORT ROAD AND THE NORTHERN RIGHT OF WAY LINE OF SEVEN HILLS BOULEVARD, THENCE ALONG THE NORTHERN RIGHT OF WAY LINE OF SEVEN HILLS BOULEVARD N 77°35'15" W A DISTANCE OF 553.26' TO A FOUND IRON ROD; THENCE DEPARTING THE SAID RIGHT OF WAY N 12°24'45" E A DISTANCE OF 680.00' TO A SET IRON ROD; S 77°35'06" E A DISTANCE OF 538.72' TO A FOUND VDOT ROD/CAP (RM2); THENCE S 77°38'14" E A DISTANCE OF 29.67' TO A FOUND PK NAIL; SAID NAIL LYING ON THE WESTERN LINE OF AIRPORT ROAD; THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING AN ARC LENGTH OF 257.88', A RADIUS OF 1886.48', A CHORD BEARING OF S 08°29'28" W, AND A CHORD LENGTH OF 257.67', TO A SET IRON ROD; THENCE CONTINUING ALONG THE SAID RIGHT OF WAY S 12°24'25" W A DISTANCE OF 390.12' TO A FOUND VDOT ROD/CAP (RM2); THENCE S 57°23'44" W A DISTANCE OF 46.39' TO A FOUND VDOT ROD/CAP (RM2) SAID ROD/CAP BEING THE POINT AND PLACE OF BEGINNING OF THE SAID PARCEL AND CONTAINING AN AREA OF 396,446.05 SQ. FT. OR 9.101 ACRES OF LAND.

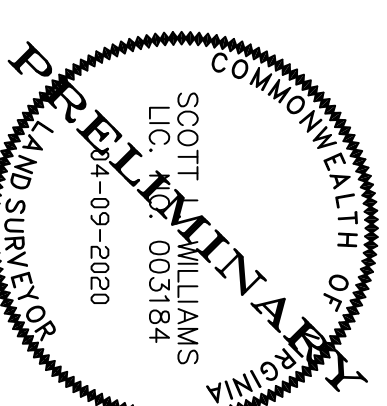
ALTA/NSPS LAND TITLE SURVEY
OF THREE PARCELS OF LAND
CONTAINING 17.695 ACRES OF
LAND AND LOCATED ON THE
SOUTH SIDE OF SPROUSE DRIVE
AND NORTH OF SEVEN HILLS
BOULEVARD

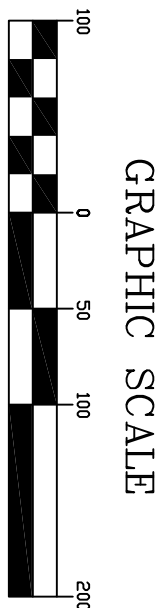
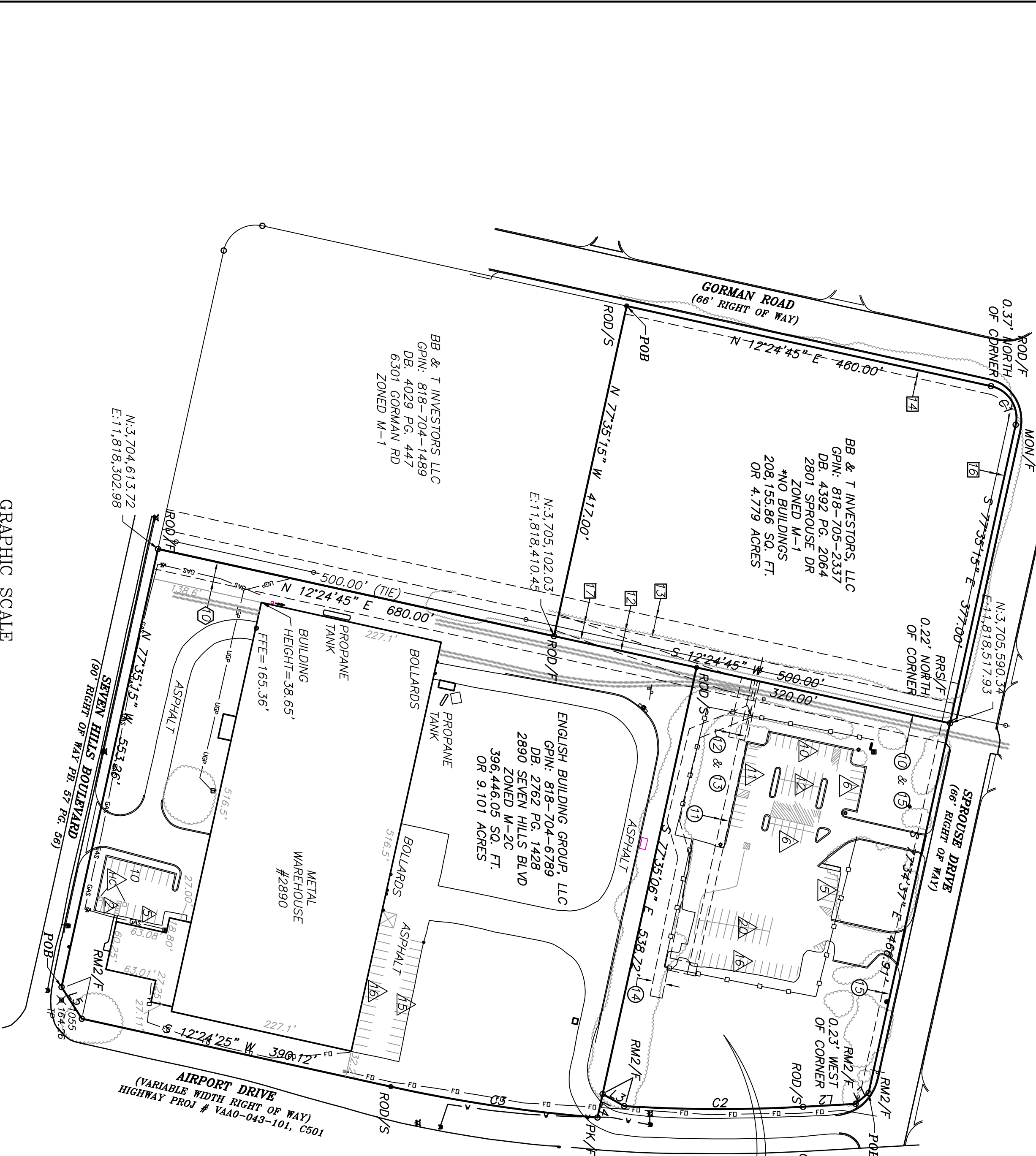
VARINA MAGISTERIAL DISTRICT
HENRICO COUNTY, VIRGINIA
APRIL 9TH, 2020

SCALE: 1" = N/A

Townes
SITE ENGINEERING

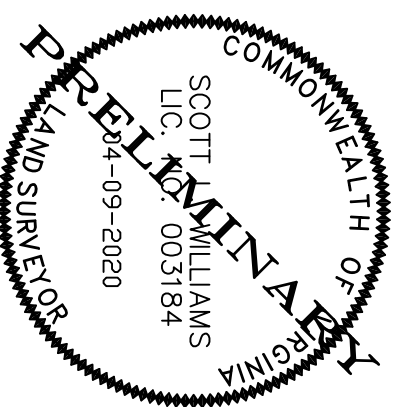
1 PARK WEST CIRCLE, SUITE 108
MIDLOTHIAN, VIRGINIA 23114
PHONE: (804) 748-9011 FAX: (804) 748-2590





CURVE RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	40.00'	62.83'	S 57°24'40" W	88°59'50"
C2	1870.08'	220.72'	S 00°13'23" W	6°45'49"
C3	1886.48'	257.88'	S 08°29'28" W	7°49'56"

LINE BEARING	DISTANCE
L1	S 40°12'02" E 20.94'
L2	S 03°09'30" E 64.93'
L3	S 29°16'55" W 30.44'
L4	S 77°38'14" E 29.67'
L5	S 57°23'44" W 46.39'



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